

**AMERICANS  
WITH  
DISABILITIES  
ACT**



**City of Garland  
Compliance Transition Plan:  
Programs/Services Accessibility**

## **EXECUTIVE SUMMARY**

The City of Garland must comply with Title II of the Americans with Disabilities Act, which requires all the City's programs and services to be made accessible to people of various abilities. The Building Inspection Department has inspected the City's facilities and identified the accessibility renovations required and estimates the renovations will cost \$132,782.36. A simple schedule for completion of the renovations by January 1995, is included.

## Table of Contents

Introduction .....	i
Inspection Reports Index .....	ii
Inspection Reports .....	1
ADA Typical Plans/Specification .....	105
Recommended Schedule of Renovations .....	138
Various City Parks .....	140
Summary .....	145
Credits .....	146

# INTRODUCTION

## **ADA - COMPLIANCE TRANSITION PLAN: PROGRAMS/SERVICES ACCESSIBILITY**

This portion of the City of Garland's Americans with Disabilities Act (ADA) Compliance Transition Plan covers Programs/Services Accessibility within or about buildings, structures and facilities. The City's goal is to foster independence by providing services and programs to people of all abilities in the most integrated setting possible.

This Transition Plan details the alterations necessary to remove barriers in and about the City's buildings structures and facilities. The City, as a local government entity, must comply with Title II of the ADA, and every existing facility is not required to be fully accessible in accordance with Title III for commercial entities. All of the programs and services offered by the City must be accessible, but may be accomplished by methods other than alteration of structures. Alternate methods might include in-home visits, curb-service or relocation of a Program/Service to an accessible facility.

Just as the City of Garland is a dynamic collection of people and facilities, this report is expected to change and expand. At the time of this writing, several departmental relocations have been announced for 1993. Accessibility will be an integral factor in all future relocations/renovations of the City departments and facilities.

The reports included in this section include:

- A. Existing conditions not in compliance with the ADA and,
- B. Recommended alterations and estimated cost.

This section also provides a schedule of renovations to comply with the American's with Disabilities Act. The time allowed to renovate facilities is quite short, with a full compliance date of January 26, 1995.

Implementation of these recommendations will provide compliance with the Americans with Disabilities Act. It will also establish the foundation for achieving the City's goal of fostering independence in integrated settings for all of the citizens and customers.

## INSPECTION REPORTS INDEX

FACILITY	PAGE NUMBER
<b>A</b>	
Animal Pound	1
Asphalt Plant	2
Audubon Park Surf and Swim	3
Audubon Recreation and Gym	4
Audubon Soccer Field	5
Auto Pound	6
<b>B</b>	
Bradfield Baseball Park	7
Bradfield Park Pool	8
Bradfield Recreation and Gym	9
<b>C</b>	
Carter Softball Complex	10
Carver I	11
Carver II	12
Carver III	13
Central Fire Station	14
Centrl Park	15
City Hall	16, 17
City Salvage Storage	18
City Warehouse	19
Communication Shop	20
<b>D</b>	
Drive Through Tellers	21
Duck Creek Treatment Plant	22
<b>E</b>	
Economic Development Complex	23 - 31
Electric Administration	32
Electric Distribution Center	33
Electric Substations	34
Electric Substations Office	35

<b>F</b>	
Fire Station #2	36
Fire Station #3	37
Fire Station #4	38
Fire Station #5	39
Fire Station #6	40
Fire Station #7	41
Fire Support Services	42
Fire Training Center	43
Firewheel Golf Course	44
Firewheel Golf Course/Storage Compound	45
Firewheel Golf Pavilion	46
Fleet Maintenance Center	47
Fleet Maintenance Storage Center	48
Fleet Maintenance Service Center (Light vehicles)	49
Fleet Maintenance Service Center (Heavy equipment)	50
<b>G</b>	
Garland Tennis Center	51
Granger Annex	52
Granger Recreation Center	53
<b>H</b>	
Health Department/Print Shop	54
Holford Ball Park	55
Holford Park Pool	56
Holford Recreation Center and Park	57
<b>I</b>	
Incubator	58
<b>J</b>	
John Paul Jones Park	59
<b>L</b>	
Landmark Museum	60
Lou Huff Recreation Center	61
Lyle House	62
<b>M</b>	
Main Street Municipal Building	63

**N**

Newman Power Plant	64
Nicholson Library	65
111 Ranch Park Pavilion	66

**O**

Old Fire Station	67
Old Jail	68
Old Power Plant	69
Olinger Power Plant	70

**P**

Pace House	71
Parks Conference Building	72
Parks Department Offices	73
Parks Department Green House	74
Parks Department Service Center	75
Parks Storage Building	76
Pecan Grove Park	77
Performing Arts Center	78
Personnel Building	79
Plaza on the Square	80
Plaza Theatre	81
Police and Courts Building	82
Police Generator Building	83
Police Property Storage Building	84

**R**

Records Storage and PCB Containment Building	85
Ridgewood Branch Library	86
Rowlett Treatment Plant	87

**S**

Sanitation Department	88
Sanitation Landfill	89
Sanitation Recycling Center	90
Sanitation Transfer Station	91
Senior Citizen Center	92
Street Department	93

**T**

Transportation Operations	95
1200 Main	96



**U**

UPS Building	97
--------------	----

**W**

Walnut Branch Library	98
Water Department Operations Building	99
Water Department Pump Stations	100
Water Utilities Building	101
Winter Soccer Fields	102
Winters Softball Complex	103
Womens Activity Building	104

The list of parks beginning on page 140 are not required to be ADA accessible. It would be in the best interest of the City and the citizens of Garland if a few are made ADA accessible. An average cost per park would be \$2,866.20.

See package (various city parks) page 140

**Total sites = 101**

**Total buildings = 216**

**Total estimated renovation costs = \$ 132,782.36**

**INSPECTION  
REPORTS  
AND  
RECOMMENDATIONS  
WITH COST ESTIMATES**

**Facility Name: Asphalt Plant**

**Location: 740 Tower St.**

**Description: No structure-large piles of asphalt stored on the Service Center Compound**

**No requirements to be met**

**Facility Name: Audubon Park Surf and Swim**

**Location: 342 Oates Rd.**

**Description: Swimming pool, office and concession stands**

**EXISTING CONDITIONS:**

1. Five accessible parking spaces (6 required).
2. Turnstile at entrance.
3. Stairs are only access to raised picnic area.
4. Counter tops are 42" to 44" high.
5. Handrails do not extend beyond the top or bottom of the stair.
6. Exposed drain and supply line on lavatories.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain one additional accessible space.	\$ 28.80
Remove turnstile.	125.00
Install ramp to picnic area.	940.00
Lower a section of the counter tops to 36".	50.00
Add extension onto handrail.	150.00
Insulate exposed pipes under lavatories.	24.00
<b>TOTAL COST</b>	<b>\$ 1,317.80</b>

**Facility Name: Audubon Recreation and Gym**

**Location: 342 Oates Rd**

**Description: Recreation Center**

**EXISTING CONDITIONS:**

1. Have one accessible parking space (4 required).
2. One inch drop at front entrance threshold.
3. Threshold are 1 ¾" at other doors.
4. Drinking fountain spout is 45" high.
5. Restroom doors swing in front of lavatories.
6. Doors to toilet stalls are (men & women 30 ½" wide).
7. Grab bars are side mount and 36" long.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain three additional accessible space.	\$ 75.60
Bevel threshold at front entrance.	30.00
Replace other thresholds with ½" material.	65.00
Add cup dispenser at the drinking fountain.	20.00
Rehang restroom doors to swing out.	150.00
Remove toilet stall doors.	50.00
Replace grab bars with 42" long grab bar, each restroom.	46.92
<b>TOTAL COST</b>	<b>\$ 437.52</b>

**Facility Name: Audubon Soccer Field**

**Location: 342 Oates Rd.**

**Description: Soccer field and concession building**

**EXISTING CONDITIONS:**

1. Four accessible spaces required (have 2).
2. 3" threshold at entrance.
3. Door has twist knob.
4. Bleachers are not accessible.
5. Concession stand counter is 42" high.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional spaces.	\$ 52.20
Ramp threshold at concession stand entrance.	30.00
Add concrete pad for wheel chairs.	500.00
Lower a section of the concession stand counter.	45.00
<b>TOTAL COST</b>	<b>\$ 627.20</b>

**Facility Name: Auto Pound**

**Location: 1620 Commerce St.**

**Description: Portable building office and vehicle storage yard**

**EXISTING CONDITIONS:**

1. No accessible parking
2. Unimproved parking surface
3. Office is not accessible, 36" ramp + two 90° turns + 1" ledge at the door setting of ramp has caused a 3 ¾" change in level at a point up the ramp
4. The restroom is not accessible

**RECOMMENDED ALTERATIONS:**

This office is basically to house the attendant on duty. Business such as an individual retrieving his impounded vehicle or attending the auction is conducted on the parking lot. Due to the services provided it is recommended that no changes be made at this time.

**Facility Name: Bradfield Baseball Park**

**Location: 1146 Castle Dr.**

**Description: Baseball field and concession stand**

**EXISTING CONDITIONS:**

1. Three accessible parking spaces (six required).
2. Restrooms are portable.
3. Concession stand is not accessible, not enough room for a wheel chair.
4. Access to the bleachers, no place for a wheel chair.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain three additional accessible spaces.	\$ 75.60
Replace or add accessible restroom. (Rental fee per year each unit).	540.00
Add a concrete pad for wheel chairs at the bleachers.	425.00
<b>TOTAL COST</b>	<b>\$1,040.60</b>



**Facility Name: Bradfield Park Pool**

**Location: 1146 Castle Dr.**

**Description: Swimming Pool**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (five required).
2. No access ramp to pool entrance.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain three additional accessible spaces.	\$ 75.60
Add curb ramp at front entrance.	500.00
Insulate exposed pipes.	24.00
Replace lavatory faucet (ladies room).	45.00
<b>TOTAL COST</b>	<b>\$ 644.60</b>

**Facility Name: Bradfield Recreation and Gym**

**Location: 1146 Castle**

**Description: Recreation Center**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (5 required).
2. Exits have 1 ½" and 2" thresholds.
3. Restroom is inaccessible 28 ½" clearance to entrance (drinking fountain is blocking access).
4. Door to restroom is 28 ¾" wide.
5. Clear floor space in ladies restroom is 47" x 42".
6. Lavatories have twist knobs.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain three additional accessible spaces.	\$ 75.60
Ramp exits.	175.00
Remove two wing walls.	225.00
Widen door to restrooms.	600.00
Replace lavatory faucets.	90.00
Remove toilet stall doors.	50.00
Install one 42" grab bar in each restroom (have 33" in place will work).	46.92
Insulate exposed pipes under lavatories.	24.00
<b>TOTAL COST</b>	<b>\$ 1,286.52</b>

**Facility Name: Carter Softball Complex**

**Location: 480 Oates Dr.**

**Description: Softball complex with (1) Office building (1) Concession building  
(1) Storage building and restrooms**

**EXISTING CONDITIONS:**

1. One accessible parking space (9 required).
2. Does not have proper access ramp.
3. Thresholds are (Concession 1 ¾") (Office 2 ½") (Lounge 2 ½").
4. Doors have twist knobs.
5. Two drinking fountains spout heights are (1) 39" and (2) 44".
6. Concession stand counter is 42" high.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain required nine accessible spaces.	\$ 221.40
Add curb ramps.	1,000.00
Bevel thresholds at concession, office and lounge.	90.00
Replace door hardware.	234.00
Add cup dispenser at drinking fountains.	20.00
Lower a section of the concession counter for accessibility.	75.00
<b>TOTAL COST</b>	<b>\$1,640.40</b>

**Facility Name: Carver I**

**Location: 222 Carver**

**Description: Single story office**

**NOTE:** This building is currently being remodeled inside and will be accessible.

**EXISTING CONDITIONS:**

No van accessible parking space.

**RECOMMENDED ALTERATIONS:**

Restripe parking area to provide one van accessible space.	\$ 28.80
------------------------------------------------------------	----------

**Facility Name: Carver II**

**Location: 222 Carver Drive**

**Description: Single story office with childcare**

**EXISTING CONDITIONS:**

1. Parking included with Carver I building (share lot).
2. Water fountain and fire extinguisher protrude into exterior route (14 ½"; 6 ¾").
3. Main entrance threshold 1 ¼" high.
4. Lavatory faucets have knobs.

**RECOMMENDED ALTERATIONS:**

See Carver I parking area recommendation.	\$ -----
Install skirt on water fountain and recess fire extinguisher into wall.	100.00
Replace threshold with ½" material.	30.00
Install lever type lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 220.00</b>

**Facility Name: Carver III**

**Location: 210 Carver**

**Description: Two story office**

**EXISTING CONDITIONS:**

1. Exterior route has no curb ramps at street intersections
2. Seventy five marked parking spaces with two accessible (3 required).
3. Exit signs protrude into interior route.
4. Roof beams protrude into interior route.
5. Public phone has no volume control.

**RECOMMENDED ALTERATIONS:**

Install curb ramps with detectable warnings at street intersections.	\$ 500.00
Restripe parking to provide two standard and one van accessible space.	75.60
Relocate signs to be out of route.	50.00
Pad roof beams and install detectable warning at beams.	350.00
Install public phone with volume control.	GTE Controlled
<b>TOTAL COST</b>	<b>\$ 975.60</b>

**Facility Name: Central Fire Station**

**Location: 1019 Austin St.**

**Description: Single story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. One accessible parking space, need two; access aisle is less than minimum (54").
2. No accessible signs at the front entrance.
3. Drinking fountain height is over the maximum allowed (41 ½).
4. No grab bars in toilet stalls.
5. Toilet stall door is 22" wide and inner width of stall is 35".
6. Lavatory has twist knobs.

**RECOMMENDED ALTERATIONS:**

Add a parking space and widen access aisle by restriping.	\$ 52.20
Add signs where needed.	100.00
Attach cup dispenser to water fountain.	20.00
Add grab bars in toilet stall.	44.99
Remove toilet stall door and relocate partition to gain required width.	75.00
Replace faucet.	45.00
<b>TOTAL COST</b>	<b>\$ 337.19</b>

**Facility Name: Central Park**

**Location: 1410 W. Ave F at Garland Rd.**

**Description: Football and Baseball fields and tennis courts**

**EXISTING CONDITIONS:**

As a multi-use facility, this park presents many opportunities to develop accessible programs. Numerous parking lots without marked accessible spaces, unimproved surfaces, portable toilets, inaccessible concession stands and drinking fountains are in place.

**RECOMMENDED CHANGES:** (Assuming current programs will continue to be offered)

Restripe parking areas (3) to provide at least one standard and one van accessible space.	\$ 99.00
Install curb ramps with detectable warnings at parking areas.	500.00
Install paved access to permanent concession building and viewing areas.	360.00
Provide portable accessible restroom facilities.	540.00
<b>TOTAL COST</b>	<b>\$ 1,499.00</b>



**Facility Name: City Hall**

**Location: 200 N. Fifth St. Block bounded by Fifth St., Austin St., Fourth St., and State St.**

**Description: Four story office building**

**EXISTING CONDITIONS:**

1. Exterior route-complies with the following exceptions:
  - a. No detectable warnings at vehicular way/ramp transitions.
  - b. No curb ramps at street intersections of Fifth and State Streets, Fourth and State Streets, Fourth and Austin Streets.
2. Parking-no accessible parking provided.
3. Ramps-ramp to front entrance complies: 1:12 slope (maximum allowed).
4. Entrances-front (west) accessible; side (north) and rear (east) are not accessible.
5. Interior route-accessible.
6. Elevators-accessible elevator by east door, west elevator has no lanterns.
7. Doors-some interior doors require opening force greater than five pounds.
8. Drinking fountains-1st floor accessible; 2nd, 3rd and 4th floors not accessible.
9. Restrooms-accessible on 1st and 3rd floors, with 'Alternate A' toilet stalls; 2nd and 4th floor restrooms not accessible, urinals are higher than 17" maximum (27" AFF) all lavatory faucets have knob type handles.
10. Sinks-do not comply on 1st, 3rd and 4th floors.
11. Assembly Areas-comply except for access to platform in Council Chambers.
12. Alarms-comply.
13. Signage-complies.
14. Public telephone-volume control.

Facility Name: City Hall

**RECOMMENDED ALTERATIONS:**

Provide curb ramps at the street intersections of Fifth & State, Fourth and Austin Streets.	\$ 2,500.00
The parking areas at City Hall also serve the Police/Courts, building total spaces number 237. Seven accessible spaces are required and one of the seven van accessible. These spaces should be provided in the area closest to the north(side) door of City Hall.	169.20
Adjust/replace and remove closures to reduce pull force to $\leq$ 5 pounds.	27.00
Install new water fountains with side skirts to prevent protrusions.	250.00
Lower urinals and replace lavatory knobs with levers.	490.00
Consider platform lift in Council Chambers.	10,000.00
Install public telephone with volume control.	GTE Controlled
<b>TOTAL COST</b>	<b>\$ 13,436.20</b>

**Facility Name: City Salvage Storage**

**Location: 520 Bayway**

**Description: Two single story buildings (1) kiosk office and steel frame storage warehouse**

**EXISTING CONDITIONS:**

1. Change in level at kiosk office is 7" vertical rise
2. Change in level at warehouse is 15" vertical rise (curb)
3. No curb ramp
4. No accessible parking spaces
5. Restrooms located in the print shop next door

**RECOMMENDED ALTERATIONS:**

No changes be made at this time

**Facility Name: City Warehouse**

**Location: 1720 Commerce St.**

**Description: Single story building housing the Health Department, Print Shop  
and Warehouse**

**EXISTING CONDITIONS:**

1. 24" between the two doors in series
2. Doors have knobs on one side and panic hardware on the other side
3. No accessible parking on warehouse side of the complex

**RECOMMENDED ALTERATIONS:**

**No changes be made at this time.**

1. Parking provided on north side of complex
2. Access to restrooms through adjoining doors to rest of the complex

**Facility Name: Communication Shop**

**Location: 1720 Traffic Trail**

**Description: Single story office and storage**

**EXISTING CONDITIONS:**

1. No accessible parking spaces (one required)
2. Curb ramp is asphalt and gravel (very rough)
3. Thresholds at doors is 1 ½"
4. Doors hardware is twist knob
5. Drinking fountain spout is 41" high
6. 43" clear floor space door swings in within 8" of toilet
7. Door to toilet stall is 22 ½" wide
8. Lavatory have twist knobs and exposed drain and supply lines

**RECOMMENDED ALTERATIONS:**

Add required parking space	\$ 24.60
Replace asphalt curb ramp	75.00
Bevel threshold	60.00
Replace door hardware	234.00
Add cup dispenser at water fountain	20.00
Widen entrance to restroom and rehang door to swing out	300.00
Remove toilet stall door	25.00
Replace lavatory faucets	90.00
Insulate exposed drain pipe	24.00
<b>TOTAL COST</b>	<b>\$ 852.60</b>

**Facility Name: Drive Through Tellers**

**Location: 1214 W. Ave A backs up to Ave B**

**Description: Single story office with four drive up, pneumatically served teller stations**

This facility is not currently in use. Accessibility for strictly drive through services is adequate. Accessibility for walk up service would need consideration. Alterations may be required depending on the services/programs offered.

**Facility Name: Duck Creek Treatment Plant**

**Location: 750 Duck Creek Way, Sunnyvale, Tx**

**Description: A multi-structure complex used for offices storage and treating waste water (27 structures)**

**EXISTING CONDITIONS:**

1. No accessible parking spaces (two required).
2. Door to main office not accessible.
3. Toilet stall doors are (m-22" wide) (w-22¼" wide).
4. No grab bars.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two required accessible spaces.	\$ 52.20
Add curb ramp at main entrance.	500.00
Add grab bars and remove toilet stall doors.	139.98
<b>TOTAL COST</b>	<b>\$ 642.18</b>

**Facility Name: Economic Development Complex**

**Location: 2722 E. Kingsley**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Doors have twist knob.
2. Ladies restroom is 30½" x 60".
3. No grab bars.
4. Toilet stall access is 24½" wide.
5. Toilet stall doors are 23" wide (men and women).
6. Lavatory faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Replace doors hardware.	\$ 351.00
Add grab bars.	89.98
Remove toilet stall doors (1 accessible stall needed).	-----
Relocate toilet stall partitions to gain necessary floor space.	100.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 630.98</b>



**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #A2**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Wheel stops allow vehicle bumpers to extend over the sidewalk.
2. No accessible spaces for this suite.
3. No grab bars.
4. Lavatory faucets have twist knobs.

**RECOMMENDED ALTERATIONS:**

Relocate wheel stops.	\$ 275.00
Add accessible space for this suite (only requires striping)	28.80
Add grab bars.	44.99
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 393.79</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #B1**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Two accessible spaces required (have none).
2. Threshold at entrance is 1 ¼ " high.
3. Lavatory faucets are twist knobs.
4. No grab bars.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot for two accessible spaces.	\$ 52.20
Replace threshold with ½ " material.	30.00
Replace lavatory faucets.	90.00
Add grab bars.	89.98
Two accessible parking signs.	100.00
<b>TOTAL COST</b>	<b>\$ 362.18</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #B2**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Sidewalk has dropped 1" at the main entrance.
2. Three accessible spaces required (have none).
3. Drinking fountain spout is 43" high.
4. 27" access to restroom (blocked by drinking fountain).
5. No grab bars.
6. Toilet stall is not accessible.
7. Clear floor space in restroom is 44" x 30".

**RECOMMENDED ALTERATIONS:**

Repair sidewalk.	\$ 72.00
Stripe parking lot to include the three required accessible space.	75.60
Add cup dispenser to drinking fountain.	20.00
Relocate drinking fountain.	55.00
Add grab bars.	89.98
Widen entrance to restroom.	300.00
Accessible parking signs.	150.00
<b>TOTAL COST</b>	<b>\$ 762.58</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #D1**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Two accessible spaces required (have none).
2. Threshold is 1 ½" high.
3. Clear floor space is (m-26" x 35 ½") (w-27" x 23").
4. No grab bars.
5. Lavatory faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot for accessible spaces.	\$ 52.20
Replace threshold with ½" material.	30.00
Demolition will be required to make restrooms accessible.	400.00
Add grab bars.	89.98
Replace lavatory faucets.	90.00
Two parking accessible signs.	100.00
<b>TOTAL COST</b>	<b>\$ 762.18</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #D2**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Three accessible parking spaces required (have none).
2. Threshold is 1 ½" high.
3. Restroom door is 23" wide (inaccessible).
4. Restroom clear floor space is 14" x 42".
5. No grab bars.
6. Lavatory have twist knobs.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot to include three accessible spaces.	\$ 75.60
Replace threshold with ½" material.	30.00
Widen entrance to restroom.	300.00
Add grab bars.	44.99
Replace lavatory faucets.	90.00
Accessible parking signs.	150.00
<b>TOTAL COST</b>	<b>\$ 690.58</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #E**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Three accessible parking spaces required (have none).
2. Door to restroom is 22½" wide.
3. No grab bars.
4. Lavatories have twist knobs.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot to include three accessible spaces.	\$ 75.60
Widen restroom door.	300.00
Add grab bars.	89.98
Replace twist knobs.	90.00
<b>TOTAL COST</b>	<b>\$ 555.58</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #G2**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Three accessible parking spaces required (have none).
2. 2" threshold at front entrance.
3. Restroom is not on an accessible route.
4. Door to restroom 23" wide.
5. No grab bars.
6. Lavatory faucets have twist knobs.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot to include three accessible parking spaces.	\$ 75.60
Replace threshold with ½" material.	30.00
Widen restroom doors.	600.00
Add grab bars.	89.98
Replace lavatory faucets.	90.00
Accessible parking signs.	150.00
<b>TOTAL COST</b>	<b>\$1,035.58</b>

**Facility Name: Economic Development Complex**

**Location: 2714 W. Kingsley #H**

**Description: Office, warehouse and small mfg.**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (three required).
2. Mens restroom have two set of doors, first door is 34" wide and second door is 30" wide.
3. Ladies restroom is not accessible (23" wide door).
4. Toilet stall doors are 25" wide.
5. Lavatories have twist knobs.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain one additional accessible space.	\$ 28.80
Remove inner door in mens restroom.	50.00
Enlarge entrance to the ladies restroom.	300.00
Remove toilet stall doors.	50.00
Replace lavatory faucets.	90.00
One accessible parking sign.	50.00
<b>TOTAL COST</b>	<b>\$ 568.80</b>



**Facility Name: Electric Administration**

**Location: 504 State Street @ Fifth Street**

**Description: Two story office building**

**EXISTING CONDITIONS:**

1. No curb ramp at street intersection of Fifth and State (southeast and southwest corners) nor in front of building.
2. Sidewalk not level (2" vertical change).
3. Total of marked parking spaces with no marked accessible spaces.
4. Front entrance door:
  - A. Knob latchset
  - B. Threshold height 1 ¼
5. Lavatories have faucets with knobs.

**RECOMMENDED ALTERATIONS:**

Install curb ramps with detectable markings at street intersections.	\$ 500.00
Rework sidewalk to provide uniform surface.	144.00
Restripe parking in front of building to provide one standard and one van accessible space.	52.20
Install new latchset with lever and replace threshold with ½ " material.	147.00
Install lavatory faucets with levers.	90.00
<b>TOTAL COST</b>	<b>\$ 933.20</b>

**Facility Name: Electric Distribution Center**

**Location: 1755 Gasoline Alley**

**Description: Single story office and three vehicle storage sheds**

**EXISTING CONDITIONS:**

1. No access to front door - change in level no ramp
2. No accessible parking provided
3. Doors have knobs
4. Drinking fountain spout is 42" high with foot control
5. Doors to restroom (m-26¾" wide) (w-27½" wide)
6. Toilet stall door in mens restroom swings in and is 22¾" wide
7. No grab bars
8. Lavatory have twist knobs

**RECOMMENDED ALTERATIONS:**

Add curb ramp to main entrance	\$ 700.00
Add accessible parking space (1 required)	24.60
Replace doors hardware	468.00
Add cup dispenser at water fountain	20.00
Widen doors to restroom	600.00
Remove toilet stall door and partition mens restroom	50.00
Add grab bars	44.99
Replace lavatory faucets	90.00
<b>TOTAL COST</b>	<b>\$ 1,997.59</b>

**Facility Name: Electric Department Substations**

**Location: 16 sites throughout the city**

**Description: Electrical transmission stations**

**No access required at these sites**

**Facility Name: Electric Substations Office**

**Location 521 E. Ave B**

**Description: Single story office building with a mezzanine for storage and a small transformer brick building**

**EXISTING CONDITIONS:**

1. Accessible route is through rear of building
2. No accessible parking spaces - 1 required
3. Stairs only access to mezzanine
4. Doors to restroom is (28 ½ m) (20 ½ w)
5. Door swing into clear space 7" (mens restroom)
6. Ladies restroom is 59 ¼ x 59 ¼ not accessible
7. No grab bars
8. Stall in mens restroom not accessible (too small)
9. Lavatory in cabinet - no knee room

**RECOMMENDED ALTERATIONS:**

Make mens restroom a unisex	\$ -----
Restripe parking lot for 1 accessible parking space	26.25
Inlarge restroom door to unisex restroom	300.00
Add grab bars	44.99
Remove toilet stall in unisex restroom	75.00
Remove lavatory cabinet	150.00
<b>TOTAL COST</b>	<b>\$ 596.24</b>

**Facility Name: Fire Station #2**

**Location: 3136 S. Shiloh Rd.**

**Description: Single story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. Change in level at front entrance is 1 ½".
2. No accessible parking provided (1 space required).
3. No signage.
4. Water fountain is located in a fire engine bay.
5. Restroom entrance door is 26¾" in width. Does not meet the minimum.
6. Toilet stall door is 23" in width, not wheel chair accessible.
7. Lavatories have twist knobs.
8. Restrooms do not have grab bars.

**RECOMMENDED ALTERATIONS:**

Replace threshold with ½" material.	\$ 25.00
Restripe parking lot to provide 2 accessible parking spaces.	52.20
Add drinking fountain inside main office.	250.00
Enlarge restroom doors.	600.00
Remove toilet stall doors.	25.00
Replace lavatory faucets.	90.00
Add grab bars.	89.98
<b>TOTAL COST</b>	<b>\$ 1,132.18</b>

**Facility Name: Fire Station #3**

**Location: 3501 Bobbie Lane**

**Description: Single story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. Building is not accessible.
2. No accessible parking (1 space required).
3. Main entrance has a 7" threshold.
4. Doors have 1 ¾" threshold.
5. Water fountain is 41" high (36" maximum height of spout required).
6. No grab bars in toilet stalls.
7. Toilet stall width is 33" (36" required).
8. Toilet stall door is 21" wide (31" required).
9. Lavatories have exposed pipes & twist knobs.

**RECOMMENDED ALTERATIONS:**

Add ramp to provide access.	\$ 500.00
Stripe parking lot for one required parking space.	23.40
Slope threshold at main entrance and interior doors.	150.00
Add cup dispenser to water fountain.	20.00
Insulate exposed pipes and replace faucets.	50.00
Remove toilet stall door.	25.00
<b>TOTAL COST</b>	<b>\$ 768.40</b>

**Facility Name: Fire Station #4**

**Location: 3422 Broadway**

**Description: Single story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. No accessible parking spaces (one required).
2. Toilet stall door is 22¼" wide (42" minimum required).
3. Toilet stall door swings in.
4. No grab bars in stalls.
5. Toilet stall is 39¼" wide (required to be a minimum of 60").
6. Door to restroom is 29" wide (32" minimum required).
7. Drinking fountain spout is 38" (36" maximum height required).
8. Interior door hardware are twist knobs.

**RECOMMENDED ALTERATIONS:**

Stripe parking lot to provide accessible parking space	\$ 28.80
Remove toilet stall door	25.00
Add cup dispenser to drinking fountain	20.00
Replace door hardware	234.00
Add grab bars	44.99
Enlarge entrance door to restroom	300.00
Replace lavatory faucets	45.00
<b>TOTAL COST</b>	<b>\$ 697.79</b>

**Facility Name: Fire Station # 5**

**Location: 5626 Lyons Rd.**

**Description: Single story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. Access ramp located in a parking space.
2. Curb ramp slope is 1:15 (1:12 maximum required).
3. Drinking fountain is 41" high (36" maximum spout height required).
4. Accessible route to restroom is 24½" (36 minimum required).
5. Toilet stall door is 22½" wide (32" minimum required).
6. Lavatory has twist knobs.

**RECOMMENDED ALTERNATIONS:**

Restripe parking lot to provide (1) van space & (1) regular space stripe ramp isle.	\$ 52.20
Add cup dispenser at drinking fountain.	20.00
Relocate wall to provide access to restroom.	400.00
Remove toilet stall door and partition.	125.00
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 642.20</b>



**Facility Name: Fire Station #6**

**Location: 2009 Holford**

**Description: One story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. 1 ½" change in level at the sidewalk and at the front entrance.
2. Ramp in access aisle.
3. Drinking fountain spout is 42 ½" (36" maximum allowed).
4. Toilet stall door is 24 ½" wide (36" minimum allowed).
5. Toilet stall door swings in.
6. Toilet stall width is 33 ½" (36" minimum allowed).
7. No grab bars in toilet stalls.
8. Lavatory faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Change access ramp to meet sidewalk & beveled walk at front entrance.	\$ 500.00
Restripe lot to remove ramp from access aisle.	28.80
Add cup dispenser at drinking fountain.	20.00
Remove toilet stall door.	25.00
Relocate partition to gain required width.	50.00
Add grab bars.	44.99
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 713.79</b>

**Facility Name: Fire Station #7**

**Location: 2545 Naaman School Rd.**

**Description: One story vehicle storage and living quarters**

**EXISTING CONDITIONS:**

1. Drinking fountains spout is 42" high (36" maximum allowed).
2. Toilet stall is 35" wide (36" is the minimum allowed).
3. Toilet stall door swings in.
4. Toilet stall door is 22¼" wide (minimum is 32").
5. Lavatory faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Add cup dispenser at water fountain.	\$ 20.00
Remove and or relocate toilet stall partition.	50.00
Remove toilet stall door.	25.00
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 140.00</b>

**Facility Name: Fire Support Services**

**Location: 1027A Austin St.**

**Description: Single story office and storage**

**EXISTING CONDITIONS:**

1. Change in level: 6" curb at building no ramp.
2. Air conditioner and gas meter over sidewalk reducing to 8" at this point.
3. One accessible parking space (two required).
4. Only access to building is through the vehicle loading bay.
5. Only egress from building is through the vehicle loading bay.
6. Door hardware are twist knobs.
7. Restroom clear floor space is 30" (60" required) (no stalls).
8. Lavatory faucets is twist knobs.

**RECOMMENDED ALTERATIONS:**

Add curb ramp to provide access to building.	\$ 500.00
Widen sidewalk at this point.	72.00
Restripe parking lot to add second accessible parking space.	28.80
Replace hardware.	117.00
Demolition would be required to add clear floor space.	300.00
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 1,062.80</b>

**Facility Name: Fireman Training Center**

**Location: 725 Tower St.**

**Description: Single story classroom and three story training tower**

**EXISTING CONDITIONS:**

1. Classroom is inaccessible - entrance door is 28" wide and require two right angles (90°) turns to enter classroom
2. Asphalt paving - no striping
3. Three story tower is inaccessible - entrance threshold is 21" above grade (no ramp)
4. Door to tower is 28" wide (minimum required is 32")
5. Restroom is located inside of tower 21" above grade
6. Door to restroom is 28" wide
7. Entrance to toilet stall is 27" - a 90° turn must be made to enter this 27" opening.

**RECOMMENDED ALTERATIONS:**

Since this is a training area for fire fighting firemen it is recommended that the center remain as is.

**Facility Name: Firewheel Golf Course**

**Location: 600 W. Blackburn Rd.**

**Description: Office and equipment storage**

**EXISTING CONDITIONS:**

1. Seven accessible parking spaces required (2 provided).
2. Curb ramp in golf cart path.
3. Only stairway access to shop office on mezzanine.
4. No accessible signs on restrooms.
5. Lavatory faucets have twist knobs.
6. Lavatory drains are exposed.
7. Public telephone coin slot is 67".

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain five additional required spaces.	\$ 169.20
Reroute golf carts or add warning devices.	50.00
Add accessible signs where needed (2 parking signs).	100.00
Replace lavatory faucets.	90.00
Insulate drain pipes.	24.00
Have telephone company to lower public telephones.	GTE Controlled
<b>TOTAL COST</b>	<b>\$ 433.20</b>

**Facility Name: Firewheel Golf Course Storage Compound**

**Location: 550 W. Blackburn Rd.**

**Description: Single story (portable building type) office and storage area**

**EXISTING CONDITIONS:**

1. No accessible parking spaces
2. Office is not accessible - 6" threshold at entrance door
3. There is nothing inside the office that is accessible

**RECOMMENDED ALTERATIONS:**

**Recommend no changes be made at this time. Complete demolition and reconstruction would be required to make the office accessible.**

**Facility Name: Firewheel Golf Pavilion**

**Location: 434 W. Blackburn Rd.**

**Description: Single story partially covered entertainment structure (assembly to 500 people)**

**EXISTING CONDITIONS:**

1. Access to pavilion is a steep incline.
2. No signs on restrooms.
3. Lavatory faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Provide better access to pavilion.	\$ 2,500.00
Add accessible signage where needed.	50.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 2,640.00</b>

**Facility Name: Fleet Maintenance**

**Location: 1725-1 Main Line**

**Description: Portable office used to release repaired vehicles at end of main center**

**EXISTING CONDITIONS:**

1. Entrance door is 25" above grade
2. No restrooms (restrooms in main facility)
3. No drinking fountain

**No requirements to be met at this time**



**Facility Name: Fleet Maintenance Storage Barn**

**Location: 1720 Gasoline Alley**

**Description: Single story storage barn for tires**

**EXISTING CONDITIONS:**

1. No door hardware latched with chain and pad lock
2. No parking provided for this facility
3. 3" threshold at door

**RECOMMENDED ALTERATIONS:**

**No access required**

**Facility Name: Fleet Maintenance Service Center**

**Location: 1725 Gasoline Alley**

**Description: Single story office, parts room and light vehicle maintenance center**

**EXISTING CONDITIONS:**

1. Only access is through overhead doors
2. Two (30) doors have 3" thresholds
3. Office access is through the maintenance shop
4. Doors hardware is twist knobs
5. Access to ladies restroom is through the parts room and door to parts room is 26½" wide
6. Door to mens restroom swings in and have twist knobs
7. No grab bars in either restroom
8. Lavatories have twist knobs

**RECOMMENDED ALTERATIONS:**

Ramp personnel doors	\$ 221.00
Replace doors hardware	468.00
Inlarge access door to parts room	300.00
Rehang mens restroom door to swing out	50.00
Add grab bars	89.98
Replace lavatory faucets	90.00
<b>TOTAL COST</b>	<b>\$ 1,172.98</b>

**Facility Name: Fleet Truck Maintenance Center**

**Location: 601 Main Line Dr.**

**Description: Single story office and heavy equipment maintenance and repair center**

**EXISTING CONDITIONS:**

1. Only access through overhead doors
2. One personnel door with 3" threshold (always blocked by vehicles, etc.)
3. Normally floors are covered with oil, mud, etc.
4. Small office is not accessible
5. No grab bars
6. Doors have twist knobs

**RECOMMENDED ALTERATIONS:**

Because of this facility functions, recommend no changes be made

**Facility Name: Garland Tennis Center**

**Location: 845 Briarwood**

**Description: Pro Shop and tennis courts**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (4 required).
2. Change in level - 3" raised platform up to counter.
3. One tennis court has a wooden ramp up to the court entrance.
4. Patio on raised deck back of Pro Shop is not accessible.
5. Drinking fountain spout is 41" high.
6. Thresholds at restroom entrances are 4½" high.
7. Toilet stall doors are (men & women) 23½" wide.
8. No grab bars.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional accessible spaces.	\$ 52.20
Ramp 3" high plat form in Pro Shop.	175.00
Add cup dispenser at drinking fountain.	20.00
Bevel thresholds at restrooms.	75.00
Remove toilet stall doors.	50.00
Add grab bars.	89.98
Rehang restroom doors.	55.00
<b>TOTAL COST</b>	<b>\$ 517.18</b>

**Facility Name: Granger Annex**

**Location: 1302 W. Ave F**

**Description: Single story recreation room**

**EXISTING CONDITIONS:**

1. Front door access has a 6" curb and 3½ threshold at the door.
2. 2" threshold at rear door (being used at this time).
3. Drinking fountain spout is 40" high.
4. Doors to both restrooms are 16½" wide.

**RECOMMENDED ALTERATIONS:**

Install curb ramp and beveled thresholds.	\$ 575.00
Add cup dispenser at drinking fountain.	20.00
Demolition will be required to make restrooms accessible.	600.00
<b>TOTAL COST</b>	<b>\$ 1,195.00</b>

**Facility Name: Granger Recreation Center**

**Location: 1300 Ave F**

**Description: Single story recreation center**

**EXISTING CONDITIONS:**

1. Only have three accessible parking spaces (required to have five).
2. Curb ramp is located in an accessible parking space.
3. 2½" threshold at main entrance.
4. Door at main entrance is 26½" wide (each leaf) (center latching post).
5. Thresholds at exit doors are 2½".
6. Lavatory faucet is twist in ladies restroom.
7. Exposed pipes in restrooms both drain and supply.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional parking spaces.	\$ 122.40
Restripe access spaces to remove curb ramp out of an accessible parking space.	16.20
Bevel thresholds (3) to meet accessibility.	90.00
Replace lavatory faucets.	90.00
Insulate drain and supply pipes under lavatories.	12.00
<b>TOTAL COST</b>	<b>330.60</b>

**Facility Name: Health Department and Print Shop**

**Location: 1720 Commerce St.**

**Description: Single story office and warehouse complex**

**EXISTING CONDITIONS:**

1. Change in level of 1" from ramp to access route.
2. One accessible space provided (2 required).
3. Threshold at main entrance is 1 ½" high.
4. Drinking fountain spout is 42 ½" high.
5. Doors to restrooms are not accessible (m-26 ½" wide) (w-29").
6. Thresholds at restrooms are 1 ½" high (change in level).
7. Door to toilet stalls are 30 ½" (men & women).
8. Lavatories have twist knobs.
9. Exposed pipes drain and supply lines.
10. Public telephone above 42".
11. Toilet stalls are 35" wide x 55" deep.
12. Grab bars too short (25") (42" minimum sidemount).

**RECOMMENDED ALTERATIONS**

Replace a section of the sidewalk.	\$ 72.00
Restripe parking lot - more accessible spaces closer to the front (2 needed).	46.80
Replace threshold with ½" material.	30.00
Add cup dispenser at drinking fountain.	20.00
Widen door way for both restrooms.	600.00
Bevel thresholds at restrooms.	60.00
Remove toilet stall doors and add 42" grab bars.	75.00
Replace lavatory faucets.	90.00
Insulate exposed lavatory pipes.	12.00
Have GTE to lower public phones.	-----
Relocate toilet stall partition.	50.00
<b>TOTAL COST</b>	<b>\$1,055.80</b>

**Facility Name: Holford Ball Park**

**Location: 2314 Homestead**

**Description: Two baseball fields and one football field**

**EXISTING CONDITIONS:**

1. Two accessible spaces (6 required).
2. Toilet stalls are 36" x 56" - no grab bars.
3. Toilet stall doors are (mens 23" wide and womens 23½" wide).
4. Door to concession stand is inaccessible.
5. Clear floor space in ladies restroom is 37" x 60".
6. Clear floor space in mens restroom is 36" x 56".

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain four additional accessible spaces.	\$ 99.00
Remove toilet stall doors.	50.00
Add grab bars.	44.99
<b>TOTAL COST</b>	<b>\$ 193.99</b>



**Facility Name: Holford Park Pool**

**Location: 2314 Homestead**

**Description: Pool equipment building and pool**

**EXISTING CONDITIONS:**

1. Have two accessible parking spaces (four required).
2. Door to ticket office is 24 ½" wide.
3. Doors have twist knobs.
4. No grab bars.
5. Toilet stall doors are (m-24 ½") (w-22").

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional accessible spaces.	\$ 52.20
Install grab bars.	89.98
Remove toilet stall doors.	50.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 282.18</b>

**Facility Name: Holford Recreation Center and Park**

**Location: 2314 Homestead**

**Description: Recreation Center**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (4 required).
2. Exit doors have 2" thresholds.
3. Meeting room door has twist knobs.
4. Restrooms have 30" access doors.
5. Toilet stall doors are (m-30" wide) (w-23½" wide) doors swing in.
6. Lavatory faucets have twist knobs.
7. Public telephone coin slot is 58" above the floor.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional accessible spaces.	\$ 52.20
Ramp exit doors.	125.00
Replace meeting room door hardware.	117.00
Remove toilet stall doors.	50.00
Replace lavatory knobs.	90.00
Have telephone company lower public telephones.	-----
Enlarge door openings to restrooms.	600.00
Add grab bars to ladies restroom and on 42" bar to mens restroom.	68.45
Insulate drain pipe.	12.00
<b>TOTAL COST</b>	<b>\$ 1,114.65</b>

**Facility Name: Incubator**

**Location: 2734 W. Kingsley**

**Description: Management office for Economic Development**

**EXISTING CONDITIONS:**

1. Door to restroom has twist knobs.
2. Exposed drain and supply lines.
3. Lavatory faucets have twist knobs.

**RECOMMENDED ALTERATIONS:**

Replace hardware on restroom door.	\$ 117.00
Insulate drain and supply lines to lavatory.	12.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 219.00</b>

**Facility Name: John Paul Jones Park**

**Location: 4099 Zion Rd.**

**Description: Several picnic areas connected by a concrete walkway and two restrooms**

**EXISTING CONDITIONS:**

1. Two accessible parking spaces (six required).
2. Picnic tables are inaccessible for wheel chairs.
3. Access way to restrooms is rough.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain four additional accessible spaces.	\$ 99.00
Access paths to restrooms need to be repaired.	1,200.00
<b>TOTAL COST</b>	<b>\$1,299.00</b>

**Facility Name: Landmark Museum**

**Location: 311 State Street at Fourth St. (Heritage Park)**

**Description: Single story frame railroad depot with pullman passenger car on display, assembly less than 50 people.**

**NOTE: The pullman rail car is in the process of renovation-authorized access only construction for the past 12 + years.**

**EXISTING CONDITIONS:**

1. Exterior route-
  - a. No curb ramps or sidewalks on east side of Fourth Street at State.
  - b. No paved surface from other structures in the park (Lyle and Pace houses) to Museum.
  - c. No detectable warnings at traffic intersections.
2. Parking provided at City Hall and Performing Arts Center.  
See parking recommendations for Pace House, 200 N. Fourth.
3. Interior route-
  - a. Steps (4) up into conference room.
  - b. The thresholds into the restrooms are 1 ¼" (½" standard).
4. Door latchsets have knobs.
5. Women's restroom not accessible.
6. No grab bars at toilet.
7. Lavatory faucets have knobs.

**RECOMMENDED ALTERATIONS:**

Install curb ramps with detectable warnings at street intersections. Install paved walks along Fourth Street and to other structures in Heritage Park.	\$ 10,500.00
Consider platform lift to conference room. Replace restroom thresholds with ½" material.	10,000.00
Replace latchset knobs with levers.	117.00
Install restroom signs to designate either sex, and the current mens restroom accessible.	25.00
Install grab bars in the accessible restroom.	44.99
Replace faucet knobs with levers.	45.00
<b>TOTAL COST</b>	<b>\$ 20,731.99</b>

**Facility Name: Lou Huff Recreation Center**

**Location: 515 E. Ave B**

**Description: Single story gymnasium and office**

**EXISTING CONDITIONS:**

1. Four (4) inch vertical rise in sidewalk.
2. Forty five marked parking spaces including one accessible space.
3. Six (6) inch step at main entrance.

**RECOMMENDED ALTERATIONS:**

Rework walk to provide even surface.	\$ 144.00
Restripe parking to provide one standard and one van accessible space at existing even grade sidewalk transition.	52.20
Install ramp at main entrance.	500.00
<b>TOTAL COST</b>	<b>\$ 696.20</b>

**Facility Name: Lyle House**

**Location: 200 N. Fourth @ State Street - Heritage Park**

**Description: Single story frame house (historical), storage facility**

This structure is inactive. There is no use of this building other than for storage of restoration materials. When this building is restored it is recommended that full access be provided.

**Facility Name: Main Street Municipal Building**

**Location: 800 W. Main at Glenbrook Dr.**

**Description: Three story office**

**EXISTING CONDITIONS:**

1. Exterior route-
  - a. No curb ramps at street intersection or drive/street intersections.
  - b. Trees protrude into walk way in alley.
  - c. Openings in crosswalk grate are too large.
2. One hundred (100) marked spaces including two (2) accessible.
3. Alarm system has no strobe lights.

**RECOMMENDED ALTERATIONS:**

Install curb ramps with detectable warnings at street intersection and at drives, trim trees and replace grate with one that has smaller openings ( 1/2 " maximum).	\$ 1,350.00
Restripe parking to provide three standard and one van accessible space.	99.00
Consider adding strobe lights to alarm system.	1,080.00
<b>TOTAL COST</b>	<b>\$ 2,529.00</b>



**Facility Name: Newman Power Plant**

**Location: 525 E. Ave B**

**Description: A multi structured complex used for offices, for generating power and storage two of the offices and storage areas have a gravel driving surface (8 structures)**

**EXISTING CONDITIONS:**

1. Need two added parking spaces to meet the three required spaces.
2. Interior doors have twist knobs.
3. Exposed drain and supply lines.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain required parking.	\$ 52.20
Replace doors hardware.	1,170.00
Insulate drain and supply lines on lavatories.	12.00
No changes required in Power Generating plant.	-----
<b>TOTAL COST</b>	<b>\$1,234.20</b>

**Facility Name: Nicholson Library**

**Location: 625 Austin**

**Description: Single story with basement**

**EXISTING CONDITIONS:**

1. Exterior route-
  - a. No curb ramps at street/drive entrances.
  - b. Tree limbs protrude over walk ways.
2. One hundred sixty five (165) marked spaces include six (6) accessible spaces.
3. Interior route-
  - a. Counter/Security gates reduce width to 32".
  - b. Drinking fountains and fire extinguisher protrude into route 7".
4. Alarm system has no strobe lights.
5. Aisle spacing is inconsistent and some narrower than 36".

**RECOMMENDED ALTERATIONS:**

Install curb ramps and trim trees.	\$ 575.00
Restripe parking area immediately west of building to provide five (5) standard and one van accessible space.	145.00
Relocate gates to allow 36" width. Install skirts on water fountain or other detectable warning device within 27" of floor.	200.00
Consider adding strobe lights to alarm system.	1,420.00
Rework shelves and racks to provide a minimum 36" aisle space.	-----
<b>TOTAL COST</b>	<b>\$ 2,340.00</b>

**Facility Name: 111 Ranch Park Pavilion**

**Location: 2121 E. Brand Rd.**

**Description: Park with a pavilion**

**EXISTING CONDITIONS:**

Only three accessible parking spaces (five required).

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain two additional accessible spaces.	\$ 52.00
----------------------------------------------------------------	----------

**Facility Name: Old Fire Station**

**Location: 102 S. Sixth St.**

**Description: Two story office building being used as a meeting place for a boy scout troop and as a gym for the Police Department**

**EXISTING CONDITIONS:**

1. Not ADA accessible
2. 9" curb at front entrance (exterior and interior)
3. Stairs to second floor is the only access to this area  
burglar bars over the stair entrance

**RECOMMENDED ALTERATIONS:**

No changes be made at this time, future use of the facility is being discussed at this time.

**Facility Name: Old Jail**

**Location: 605 Ave A**

**Description: Single story brick building**

**EXISTING CONDITIONS:**

Not accessible in any way

**RECOMMENDED ALTERATIONS:**

No change be made at this time

**Facility Name: Old Power Plant**

**Location: 601 Ave A**

**Description: Plant**

**EXISTING CONDITIONS:**

Building is in a severe deteriorating state. Fill with debris from removal of the old electric generators from the facility.

**RECOMMENDED ALTERATIONS:**

No change be made

**Facility Name: Olinger Power Generating Plant**

**Location: Lake Lavon Plant Site**

**Description: One story office, power generating plant, machine shop and storage sheds (9 structures)**

**EXISTING CONDITIONS:**

1. Power plant is not accessible
2. Three elevators in power plant are not accessible, door width is 29"
3. Lavatories have twist knobs

**RECOMMENDED ALTERATIONS:**

1. Office building is accessible.
2. Power plant building not required to be accessible due to functions performed in the plant.

**Facility Name: Pace House**

**Location: 200 N. Fourth, Heritage Park, Fourth @ State Streets**

**Description: Single story frame house (Historical), assembly to 50 people**

**EXISTING CONDITIONS:**

1. Exterior Route
  - a. No curb ramps at Fourth Street and Austin Street.
  - b. No detectable warning at intersections.
2. Accessible parking provided in City Hall areas.
3. Door latchsets have knobs.
4. No strobe lights in warning alarm system.

**RECOMMENDED ALTERATIONS:**

Install curb ramps and detectable warnings at street intersections and to parking area just north of house.	\$ 1,000.00
Provide one van and one standard accessible parking space in parking area just north of Heritage Park.	52.20
Install lever operated latchsets.	351.00
Consider strobe warning lights for alarm system.	580.00
<b>TOTAL COST</b>	<b>\$ 1,983.20</b>



**Facility Name: Parks Conference Building**

**Location: 624 Apollo**

**Description: Single story assembly to 49 people**

**EXISTING CONDITION:**

1. Step at front door is 3½".
2. Lavatory faucets have twist knobs.

**RECOMMENDED ALTERATIONS:**

Install ramp at front door.	\$ 500.00
Install lever type lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 590.00</b>

**Facility Name: Parks Department Offices**

**Location: 624 Apollo Rd.**

**Description: Single family residence converted to a office building**

**EXISTING CONDITIONS:**

1. Ramp to building 1:16.5.
2. All doors have knobs.
3. Thresholds are 1 ½ " high.
4. Lavatory faucets are twist knobs.
5. Lavatory drain pipes are exposed.

**RECOMMENDED ALTERATIONS:**

Replace hardware on the doors	\$ 468.00
Replace thresholds with ½ " material.	30.00
Replace lavatory faucets.	90.00
Insulate drain pipes.	24.00
<b>TOTAL COST</b>	<b>\$ 612.00</b>

**Facility Name: Park Greenhouse**

**Location: 1221 Spring Creek Drive @ Apollo**

**Description: Single story**

**No programs or services offered at this facility**

**No alterations recommended at this time.**

**Facility Name: Parks Service Center**

**Location: 525 Tower**

**Description: Single story office and minor maintenance and repair of Parks Department equipment complex (5 structures)**

**EXISTING CONDITIONS:**

1. No front entrance access to office.
2. No accessible parking spaces (one required).
3. 1 ½" threshold from hallway to break room.
4. Doors to restrooms (m-27" wide-swing in) (w-21 ½" wide-swing in).
5. (Men) toilet stall door swings in - 22 ¼" wide.
6. Lavatories faucets have twist knobs.
7. Exposed drain and supply lines.

**RECOMMENDED ALTERATIONS:**

Entrance accessible on back side of building, also have parking spaces that are on a level grade (no changes needed).	\$ -----
Beveled threshold at break room entrance.	30.00
Remove toilet stall door in mens restroom.	25.00
Replace faucets on lavatories.	90.00
Insulate pipes under lavatories.	24.00
<b>TOTAL COST</b>	<b>\$ 169.00</b>

**Facility Name: Parks Storage Building**

**Location: 105 S. Fifth St.**

**Description: Metal storage building for park equipment**

**EXISTING CONDITIONS:**

1. No parking
2. Only used to store small tractors and trailer, etc.

**No requirements to be met at this time**

**Facility Name: Pecan Grove Park and Pool**

**Location: 3858 S. Glenbrook**

**Description: Concession stand, restrooms, swimming pool and park**

**EXISTING CONDITIONS:**

1. No accessible parking spaces (3 required)
2. Threshold at ticket office is 5 ½ " high
3. Ticket office is not accessible
4. Thresholds at restroom are 4 ½ " high
5. Restrooms are not accessible

**RECOMMENDED ALTERATIONS:**

Stripe parking lot to add three required accessible spaces	\$ 76.80
Add accessible (ADA) port-o-let	540.00
Leave office as is	----
<b>TOTAL COST</b>	<b>\$ 616.80</b>

**Facility Name: Performing Arts Center**

**Location: 300 N. Fifth St. @ Austin**

**Description: Single story, assembly to 700 main auditorium/400 small auditorium**

**EXISTING CONDITIONS:**

1. Exterior route
  - a. No detectable warning at ramp/traffic intersections.
  - b. No curb ramp at Austin Street.
2. Parking - 159 marked spaces, 4 of those designated as accessible (7 required, 1 of those van accessible).
3. Curb ramp does not have flared sides.
4. Auditoriums do not have assistive listening devices.
5. Smoke/Fire alarm system has no strobe lights.
6. Public phone has no volume control.

**RECOMMENDED ALTERATIONS:**

Install detectable warnings at ramp/traffic intersections.	\$ 36.00
Restripe parking areas to provide six standard accessible spaces and one van accessible space.	169.20
Flare curb cut ramp sides.	150.00
Install listening devices in auditoriums.	12,045.00
Consider installation of strobe light alarm.	1,680.00
Install public phone with volume control.	GTE Controlled
<b>TOTAL COST</b>	<b>\$ 14,080.00</b>

**Facility Name: Personnel Building**

**Location: 203 N. Fifth Street at State St.**

**Description: Single story brick office building**

**EXISTING CONDITIONS:**

1. Exterior route-No detectable warning, concrete broken at curb ramp.
2. Parking - 10 marked spaces (1 accessible).
3. Interior route-
  - a. Boxes stored in corridor reduce width to 30½".
  - b. Carpet loose.
4. Clearance in front of pull gate - 0".
5. Water fountain not accessible.
6.
  - a. Restroom is not accessible because of hall wall.
  - b. Toilet seats too low 15½" to 16½".
  - c. No grab bars at toilet locations.
  - d. Doors 24".
  - e. Lavatory faucets have twist knobs.

**RECOMMENDED ALTERATIONS:**

Install detectable warnings at street curb ramps and patch broken concrete.	\$ 108.00
Restripe parking to provide one van accessible space.	28.80
Remove boxes from corridors, restretch and secure existing carpet or install new carpet.	83.50
Remove gate in lobby.	15.00
Provide paper cup dispenser at water fountain.	20.00
Remove hall wall in front of restroom area, install new raised seats, install grab bars, widen doors to 36" and swing out of restrooms and install lavatory faucets with levers.	1,229.98
<b>TOTAL COST</b>	<b>\$ 1,485.28</b>



**Facility Name: Plaza on the Square**

**Location: 200 N. Sixth Street between Main and State Streets**

**Description: Paved area with fountain and center reflecting pool**

This plaza is an outdoor congregating place that is accessible.

**RECOMMENDED ALTERATIONS:**

Add detectable warnings around perimeter of reflecting pool.	\$ 350.00
Restripe parking on both sides of square to provide one universal accessible parking space near crosswalk on Main St. and one on State St.	313.20
Install curb ramps from these spaces.	1,000.00
Install detectable warnings at crosswalks.	475.00
<b>TOTAL COST</b>	<b>\$2,138.20</b>

**Facility Name: Plaza Theater**

**Location: 529 State St.**

**Description: Single story theater with balcony (assembly less than 200)**

**This building is in an advanced state of neglect and must undergo major renovation prior to any use. Accessibility should be designed into any renovation plans.**

**Facility Name: Police and Courts Building**

**Location: 217 N. Fifth @ Austin St.**

**Description: Four story office**

**EXISTING CONDITIONS:**

1. Exterior route-trees project into route on ramp.
2. Parking included with City Hall, 200 N. Fifth in calculation of required spaces.
3. Curb ramps need markers at vehicular traffic lanes.
4. Entrances comply.
5. Interior route complies.
6. Elevator call buttons on first floor are recessed.
7. Restrooms on second and fourth floors comply.
8. Jail in basement is not fully accessible.
9. Alarm system does not comply.
10. Public telephone has no volume control.
11. Pay windows and front desk are too high (50" and 54").
12. Drinking fountains do not have adequate knee space (15").

**RECOMMENDED ALTERATIONS:**

Trim trees	\$ 75.00
Install traffic markers.	273.00
Install with flush or raised elevator buttons.	250.00
There are no requirements for jail cell accessibility at this time.	-----
Consider installation of an alarm system.	12,000.00
Install public telephone with volume control.	GTE Controlled
Create an accessible counter.	360.00
Provide cup dispensers at water fountains.	20.00
<b>TOTAL COST</b>	<b>\$ 12,978.00</b>

**Facility Name: Police Generator Building**

**Location: 217 N. Fifth St.**

**Description: Single story equipment building**

**EXISTING CONDITIONS:**

1. Building is not accessible
2. The arrangement of the pumps, etc., will not allow access

**No requirements to be met at this time**

**Facility Name: Police Property Storage Building**

**Location: 1640 Commerce St.**

**Description: Single story office and storage**

**EXISTING CONDITIONS:**

1. No accessible parking spaces (one required)
2. Change in level at front entrance (6" curb).
3. Door at front entrance has twist knobs.
4. Restroom doors swing in-reducing clear floor space to 30".
5. Lavatory drain pipe is exposed.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot adding the one required parking space.	\$ 23.00
Install curb ramp at front entrance.	500.00
Replace door hardware at front entrance.	117.00
Rehang restroom doors to swing out.	75.00
Insulate drain pipes.	5.00
<b>TOTAL COST</b>	<b>\$ 720.00</b>

**Facility Name: Records Storage/PCB Building**

**Location: 539 Main Line**

**Description: Single story records storage, PCB and chemical containment building**

**EXISTING CONDITIONS:**

1. No parking provided for this structure
2. Threshold at PCB chemical door is 2½" outside and 6" inside
3. Threshold at records storage door is 4½" outside and 4½" inside
4. PCB chemical storage area has a 5" dike containment inside

**RECOMMENDED ALTERATIONS:**

Because of the type of services provided at this facility it is recommended that no changes be made.

**Facility Name: Ridgewood Branch Library**

**Location: 120 Kingsley Rd.**

**Description: Single story public library**

**EXISTING CONDITIONS:**

1. Doors to restroom are (m-31 ½") (w-28 ½").
2. Grab bars are (m-37") (w-37") long.
3. Toilet stalls are (m-36" x 70") (w-37 ½" x 55 ½").
4. Toilet stall doors are (m-30 ¾") (w-30 ½").
5. Lavatories have twist handles.
6. Exposed drain and supply lines.

**RECOMMENDED ALTERATIONS:**

Widen restroom entrance doors.	\$ 600.00
Remove toilet stall doors.	50.00
Replace lavatory faucets.	90.00
Insulate exposed pipes.	24.00
Add one 42" grab bar each restroom.	46.92
<b>TOTAL COST</b>	<b>\$ 810.92</b>

**Facility Name: Rowlett Treatment Plant**

**Location: 2500 Centerville Rd.**

**Description: Multi-structure complex used for office and treatment of waste water  
(23 structures)**

**EXISTING CONDITIONS:**

1. Two accessible spaces required (have one).
2. No striped accessible spaces.
3. Threshold is 1 ½" high.
4. Drinking fountain spout height is 42 ½".
5. Ladies restroom has 47" clear floor space.
6. Toilet stall are (m-47 ½" x 71 ½") (w-46" x 91 ½").

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain one additional accessible space.	\$ 28.80
Replace threshold with ½" material.	30.00
Add cup dispenser at drinking fountain.	20.00
Remove or relocate toilet stall doors and partitions.	350.00
<b>TOTAL COST</b>	<b>\$ 428.80</b>



**Facility Name: Sanitation Department**

**Location: 1434 Commerce St.**

**Description: One story office building**

**EXISTING CONDITION:**

1. Exterior route - no access provided to the building.
2. No ramp up to entrance from parking area.
3. No parking spaces provided.
4. Door threshold is 2 ½ ".
5. No signage provided.
6. Drinking fountain spout is above the maximum height.
7. Restrooms - not accessible, immediate left turn 26 ¾ " on entry.
8. Does not meet clear floor space requirements.
9. No grab bars.
10. Toilet stalls are 31 ½ " wide (less than the minimum required).
11. Door to toilet stall is 22 ½ (less than the minimum required).
12. Exposed pipes - both supply and drain.
13. Twist knobs on lavatory.

**RECOMMENDED ALTERATIONS:**

Add curb ramp eastside of building.	\$ 500.00
Add five accessible parking spaces (4) regular (1) van access space.	122.40
Replace threshold with ½ " material.	30.00
Add accessible parking space signs.	250.00
Add cup dispenser for water fountain.	20.00
Demolition required to make restrooms accessible (ladies).	300.00
Add grab bars.	44.96
Lavatories have twist knobs - replace knobs.	90.00
Remove toilet stall doors.	25.00
<b>TOTAL COST</b>	<b>\$1,382.36</b>

**Facility Name: Sanitation Landfill**

**Location: 3637 Castle Road**

**Description: (2) one story buildings (1 kiosk office 10' x 14')  
(1 equipment maintenance building)**

**EXISTING CONDITIONS:**

1. No accessible restrooms (1 port-o-let)
2. No accessible parking
3. Change in level at office 36" high plat form/with steps
4. Unimproved parking surface - no striping

**RECOMMENDED ALTERATIONS:**

No requirements to be met at this time

**Facility Name: Sanitation Recycling**

**Location: 1434 Commerce St.**

**Description: Single story collection point for recyclable items**

**EXISTING CONDITIONS:**

1. Office is 6'6" x 8'2" portable building not accessible
2. Collection points have portable stairs for attendant on duty to dump material into collection trailers.
3. Restrooms and other facilities are located in the Sanitation Department (next door)

**RECOMMENDED ALTERATIONS:**

**No corrections needed at this time-facility is drive through with attendants on duty during business hours.**

**Facility Name: Sanitation Transfer Station**

**Location: 1434 Commerce St.**

**Description: Garbage collection station**

**EXISTING CONDITIONS:**

1. A 5'x 6' metal office building inside the transfer station  
(not accessible)
2. No accessible bathrooms (port-o-let)
3. Only access to transfer station is by vehicle (on a very steep hill)

**No requirments to be met at this time**

**Facility Name: Senior Citizen Center**

**Location: 901 State Street at Ninth St.**

**Description: Single story office, assembly less than 50**

**EXISTING CONDITIONS:**

1. No curb ramps with detectable warnings at street intersection or drives.
2. Marked parking spaces total 48 including six (6) standard accessible spaces.
3. Public phone has no volume control.

**RECOMMENDED ALTERATIONS:**

Install curb ramps with detectable warnings intersections of streets and/or drives.	\$ 2,500.00
Restripe accessible spaces to provide at least one van accessible space.	28.80
Install public phone with volume control.	GTE Controlled
<b>TOTAL COST</b>	<b>\$ 2,528.80</b>

**Facility Name: Street Department**

**Location: 1775 Gasoline Alley**

**Description: Single story office and vehicle maintenance shop**

**EXISTING CONDITIONS:**

1. Not accessible (access is through over head doors).
2. No accessible parking spaces (one required).
3. Threshold at both doors is 2¾" high (maximum is ½).
4. Door hardware is twist knobs.
5. Drinking fountain spout is 42" high (maximum allowed is 36").
6. Door to mens restroom is 27½" wide (32" is minimum allowed).
7. Mens restroom is not accessible-wheel chair can not make turns.
8. No grab bars.
9. Lavatories faucets are twist knobs.

**RECOMMENDED ALTERATIONS:**

Add curb ramp at front entrance.	\$ 500.00
Restripe parking spaces to provide one required accessible space.	28.80
Bevel threshold at both doors.	60.00
Replace doors hardware.	117.00
Add cup dispenser at drinking fountain.	20.00
Widen door way.	300.00
Demolition will be required to gain proper restroom floor space.	250.00
Add grab bars.	44.99
Replace lavatory faucets.	45.00
<b>TOTAL COST</b>	<b>\$ 1,365.79</b>

**This page intentionally left blank**

**Facility Name: Transportation Operations**

**Location: 409 Forest Gate**

**Description: Single story office and a vehicle and equipment yard**

**EXISTING CONDITIONS:**

1. No accessible parking spaces
2. No curb ramp at main entrance
3. Doors have twist knobs (interior)
4. Drinking fountain spout is 43" high
5. Ladies restroom is totally inaccessible (26" from w/c to shower)

**RECOMMENDED ALTERATIONS:**

Add one accessible space	\$ 24.60
Add curb ramp	500.00
Replace doors hardware	585.00
Add cup dispenser at water fountain	20.00
Remodel ladies restroom	1,800.00
<b>TOTAL COST</b>	<b>\$ 2,929.60</b>



**Facility Name: 1200 Main**

**Location: 1200 W. Main and Twelfth Street**

**Description: Two story offices - vacant**

**EXISTING CONDITIONS:**

1. No curb ramps with detectable warnings at street or drives.
2. No curb ramp onto building walk.
3. No paved access to building from public walk.
4. Marked spaces total 55. No marked accessible spaces.
5. Vacant facility.

**RECOMMENDED ALTERATIONS:**

**NOTE:** No action should be taken until use of building determined. Any renovation should include plans for accessibility into the design.

Install curb ramps with detectable warnings at street and drives.	\$ 1,000.00
Install curb ramp to building walk from parking lot.	500.00
Install paved walk to building walk from public walk.	1,350.00
Restripe parking lot to provide two (2) standard and one (1) van accessible spaces.	75.60
<b>TOTAL COST</b>	<b>\$ 2,925.60</b>

**Facility Name: UPS Building**

**Location: 200 N. Fifth St.**

**Description: Back up power supply for the city computer system**

**EXISTING CONDITIONS:**

**Only accessible for repair**

**No requirements to be met at this time**

**Facility Name: Walnut Branch Library**

**Location: 3320 W. Walnut**

**Description: Single story public library**

**EXISTING CONDITIONS:**

1. No accessible parking spaces.
2. Doors in series (set of doors 30" apart); outer door ok; inner door 30" opening.
3. Restrooms have double doors, 4" from first door to second door 28 ½" opening for both doors.
4. Clear floor space is (m-55 ½" x 62") (w-49" x 89") both entrance and toilet stall doors swing into this clear space.
5. Toilet stalls are (m-43 ½" x 78") (w-44" x 56 ½").
6. Toilet stall doors are (m-30 ½") (w-30 ½").
7. Lavatories have twist handles.

**RECOMMENDED ALTERATIONS:**

Provide accessible parking spaces in the front entrance parking lot.	\$ 28.80
Remove inner set of entry doors.	85.00
Remove toilet stall doors.	50.00
Remove inner set of restroom doors.	175.00
Widen restroom entrance doors.	600.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 1,028.80</b>

**Facility Name: Water Department Operations Building**

**Location: 2343 Forest Ln.**

**Description: Single story office building with a equipment storage area**

**EXISTING CONDITIONS:**

1. One inch rise at foot of ramp.
2. No accessible parking (one required).
3. Doors have twist knobs.
4. Lavatories have twist knobs.

**RECOMMENDED ALTERATIONS:**

Beveled change in level at foot of ramp.	\$ 50.00
Stripe lot to create one van accessible parking space.	28.80
Replace door hardware.	234.00
Replace lavatory faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 402.80</b>

**Facility Name: Water Pump Stations**

**Location: 6 locations - 3217 Apollo Rd., 1060 N. Shiloh Rd., 817 E. Centerville  
700 Wallace and two pump stations at 2343 Forest Ln.**

**Description: Above and under ground pump stations for the water storage systems**

**EXISTING CONDITIONS:**

**Pump stations are not ADA accessible due to the layout of each sites interior**

**RECOMMENDED ALTERATIONS:**

**No changes be made at this time (see photo's in original ADA files)**

**Facility Name: Water Utilities Building**

**Location: 2343 Forest Lane**

**Description: Two story office, maintenance and conference room**

**EXISTING CONDITIONS:**

1. Second floor is not accessible (only a conference room).
2. Doors have twist knobs (interior).
3. Drinking fountain spout is 41 ½" high.
4. No accessible signs on restrooms.
5. Lavatories have twist handles.

**RECOMMENDED ALTERATIONS:**

Replace doors hardware.	234.00
Add cup dispenser at the drinking fountain.	20.00
Replace lavatories faucets.	90.00
<b>TOTAL COST</b>	<b>\$ 344.00</b>

**NOTE:** Conference room use should be restricted to other than public meetings:

**Facility Name: Winters Soccer Fields**

**Location: 1601 Spring Creek**

**Description: Concession Stand, restroom and soccer fields**

**EXISTING CONDITIONS:**

1. Three accessible parking spaces (seven required).
2. No curb ramps.
3. Threshold at concession stand entrance is 1 ½".
4. Door to concession stand has twist knobs.
5. Restrooms are not accessible (two 25" 90° turns).
6. Restrooms have steel gates (gates locked).
7. Restrooms are totally inaccessible.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain four additional accessible spaces.	\$ 99.00
Add curb ramps.	1,000.00
Replace threshold with ½" material.	30.00
Add accessible portable toilet (rental fee per year each unit)	540.00
<b>TOTAL COST</b>	<b>\$1,669.00</b>

**Facility Name: Winter Softball Complex**

**Location: 1330 Spring Creek**

**Description: Softball complex**

**EXISTING CONDITIONS:**

1. Five accessible parking spaces (six required).
2. Steps are the only access to the raised seating platform.
3. Door hardware is twist knobs.
4. Water fountain spout is 40" high.
5. Seating and tables are not accessible.

**RECOMMENDED ALTERATIONS:**

Restripe parking lot to gain one additional accessible space.	\$ 28.80
Install ramp for the raised seating platform.	840.00
Replace doors hardware.	351.00
Add cup dispenser at drinking fountain.	20.00
Insulate unprotected pipes under lavatories.	24.00
<b>TOTAL COST</b>	<b>\$1,263.80</b>



**Facility Name: Womens Activity Building**

**Location: 713 Austin @ Glenbrook Drive**

**Description: Single story office - assembly to 75**

**EXISTING CONDITIONS:**

1. Exterior route - no curb ramp with detectable warning at street intersection of Austin and Glenbrook.
2. Twelve spaces are marked with one designated as accessible.
3. No detectable warnings where ramp intersects with drive.
4. Interior route - drinking fountain and fire extinguisher protrude into route.
5. Restroom doors are too narrow (29½).
6. Drinking fountain is too high.
7. Lavatories do not allow wheel chair to roll under.
8. Public phone has no volume control.

**RECOMMENDED ALTERATIONS:**

Install curb ramp with detectable warning at street intersection.	\$ 500.00
Restripe parking area to provide one van accessible space and one standard accessible space (because of occupant load).	52.20
Install detectable warnings at ramp/drive intersection.	46.00
Recess or relocate fire extinguisher and install skirts on drinking fountain.	150.00
Widen restroom doors to 36".	600.00
Install cup dispenser at drinking fountain.	20.00
Consider reworking lavatory tops.	90.00
Install public phone with volume control.	GTE Controlled
<b>TOTAL COST</b>	<b>\$1,458.20</b>

# **TYPICAL PLANS AND SPECIFICATIONS**

#### 4.2.4\* Clear Floor or Ground Space for Wheelchairs

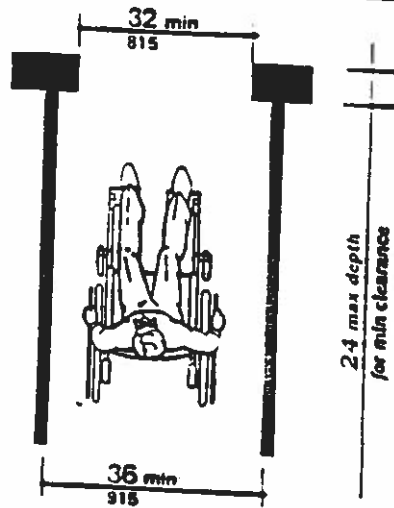


Fig. 1  
Minimum Clear Width  
for Single Wheelchair

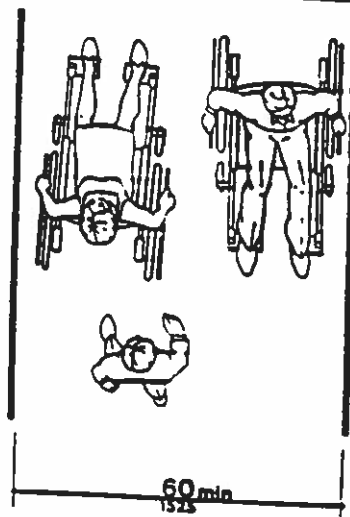


Fig. 2  
Minimum Clear Width  
for Two Wheelchairs

### 4.3 Accessible Route

that are part of an accessible route shall comply with 4.3.

#### 4.3.2 Location.

(1) At least one accessible route *within the boundary of the site* shall be provided from public transportation stops, accessible parking, and accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public.

(2) At least one accessible route shall connect accessible buildings, facilities, elements, and spaces that are on the same site.

(3) At least one accessible route shall connect accessible building or facility entrances with all accessible spaces and elements and with all accessible dwelling units within the building or facility.

(4) An accessible route shall connect at least one accessible entrance of each accessible

dwelling unit with those exterior and interior spaces and facilities that serve the accessible dwelling unit.

**4.3.3 Width.** The minimum clear width of an accessible route shall be 36 in (915 mm) except at doors (see 4.13.5 and 4.13.6). If a person in a wheelchair must make a turn around an obstruction, the minimum clear width of the accessible route shall be as shown in Fig. 7(a) and (b).

**4.3.4 Passing Space.** If an accessible route has less than 60 in (1525 mm) clear width, then passing spaces at least 60 in by 60 in (1525 mm by 1525 mm) shall be located at reasonable intervals not to exceed 200 ft (61 m). A T-intersection of two corridors or walks is an acceptable passing place.

**4.3.5 Head Room.** Accessible routes shall comply with 4.4.2.

**4.3.6 Surface Textures.** The surface of an accessible route shall comply with 4.5.

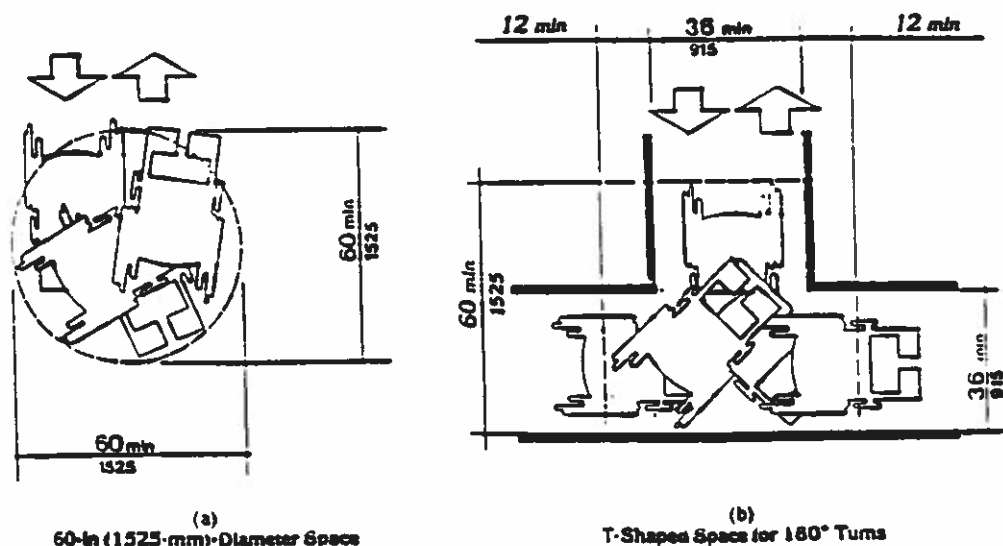
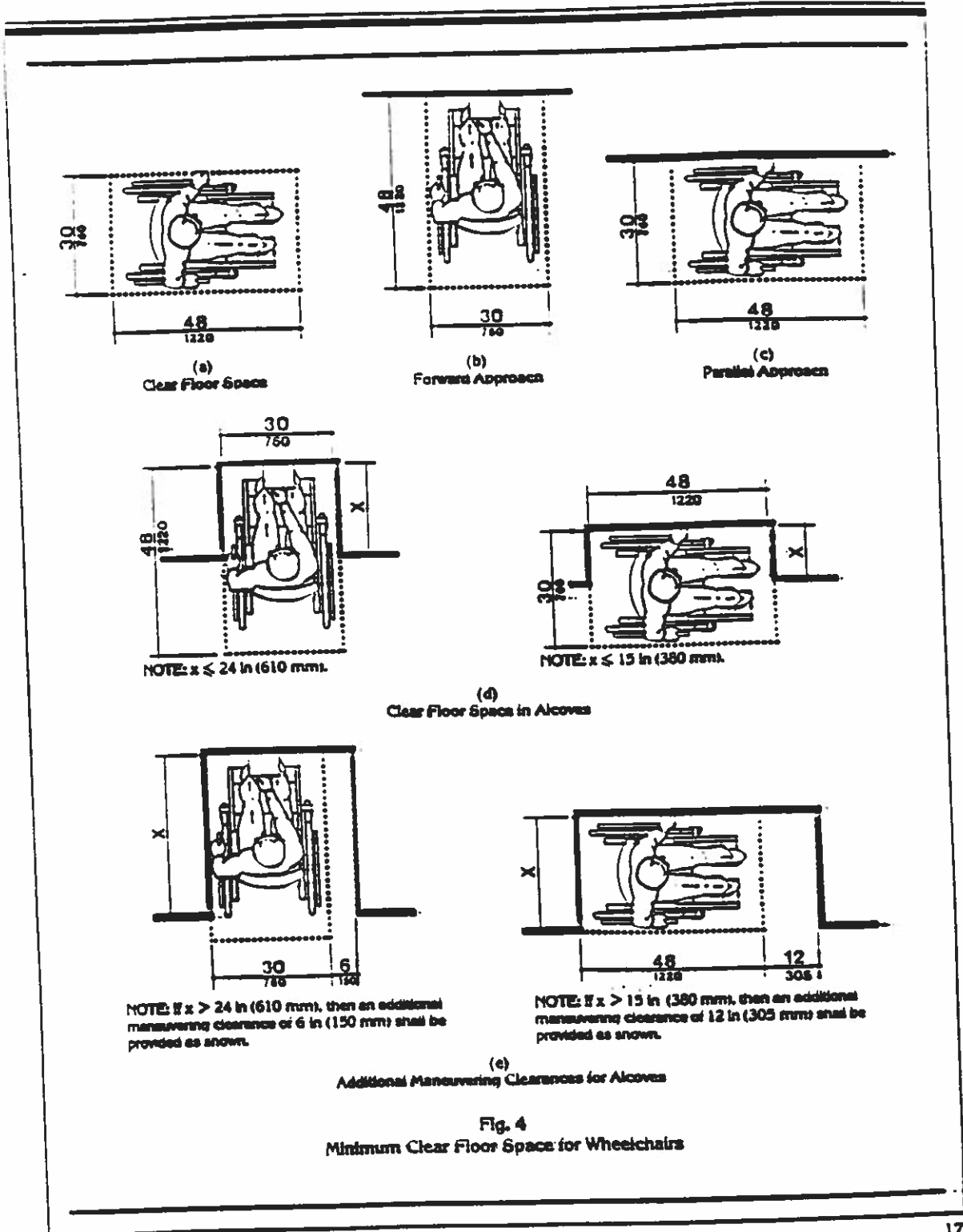
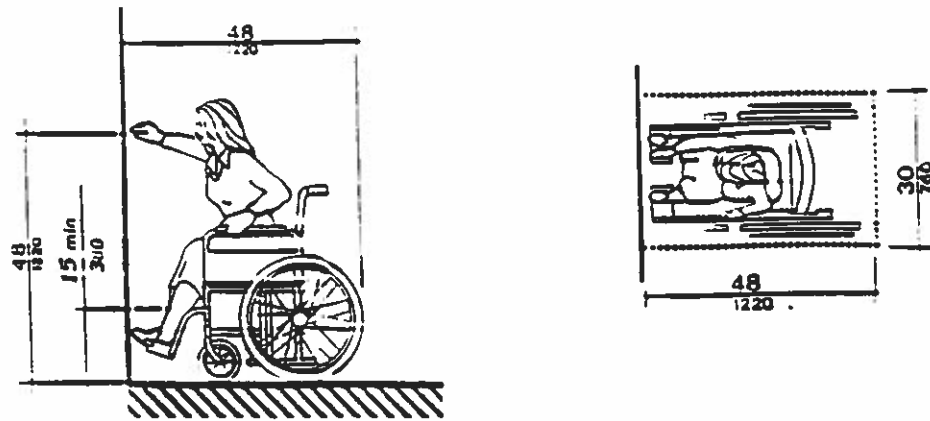


Fig. 3  
Wheelchair Turning Space

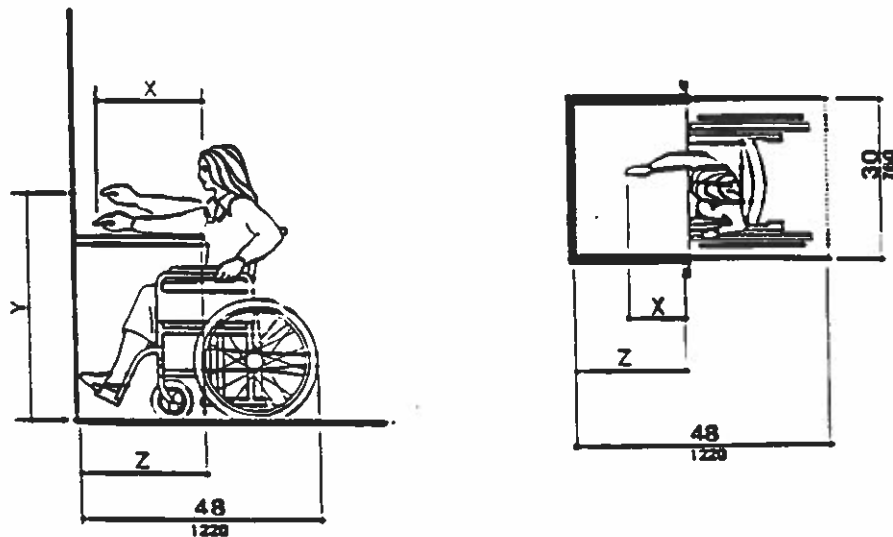
## 4.3 Accessible Route



4.3 Accessible Route



(a)  
High Forward Reach Limit



NOTE: x shall be  $\leq 25$  in (635 mm); z shall be  $\geq x$ . When x  $< 20$  in (510 mm), then y shall be 48 in (1220 mm) maximum. When x is 20 to 25 in (510 to 635 mm), then y shall be 44 in (1120 mm) maximum.

(b)  
Maximum Forward Reach over an Obstruction

Fig. 5  
Forward Reach

## 4.3.7 Slope

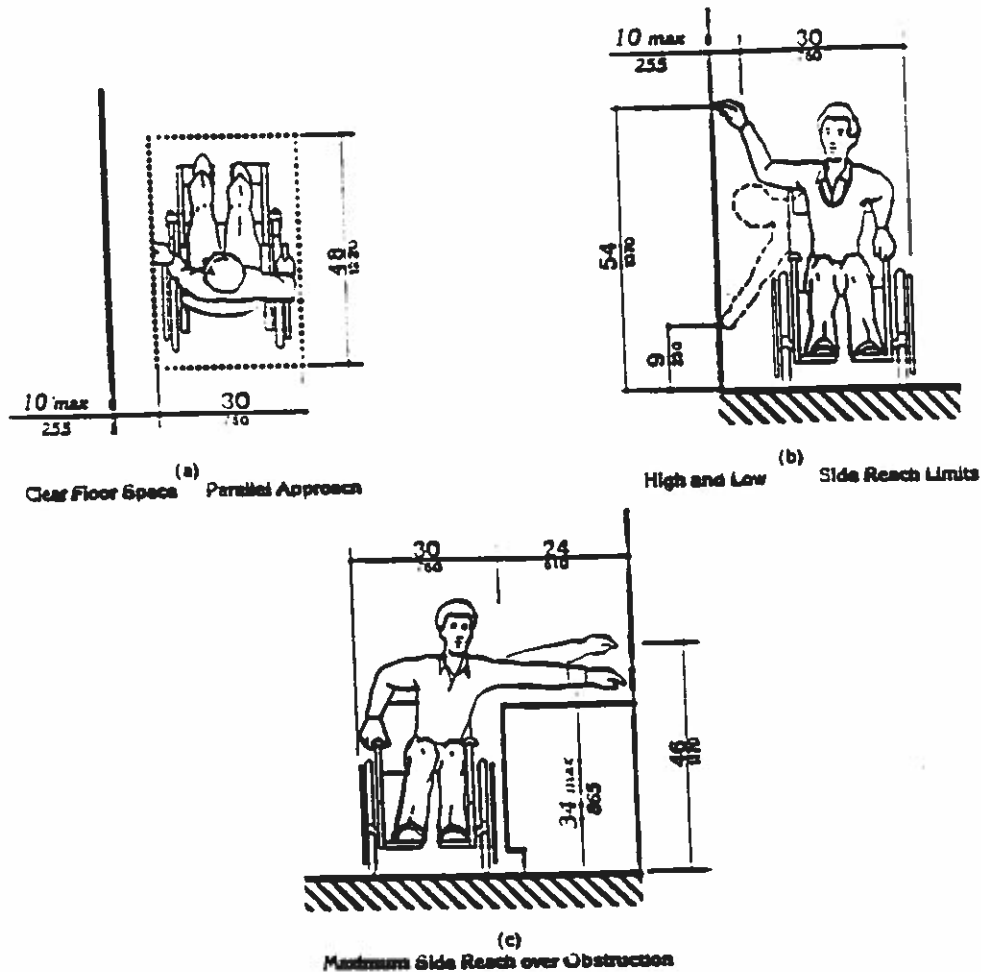


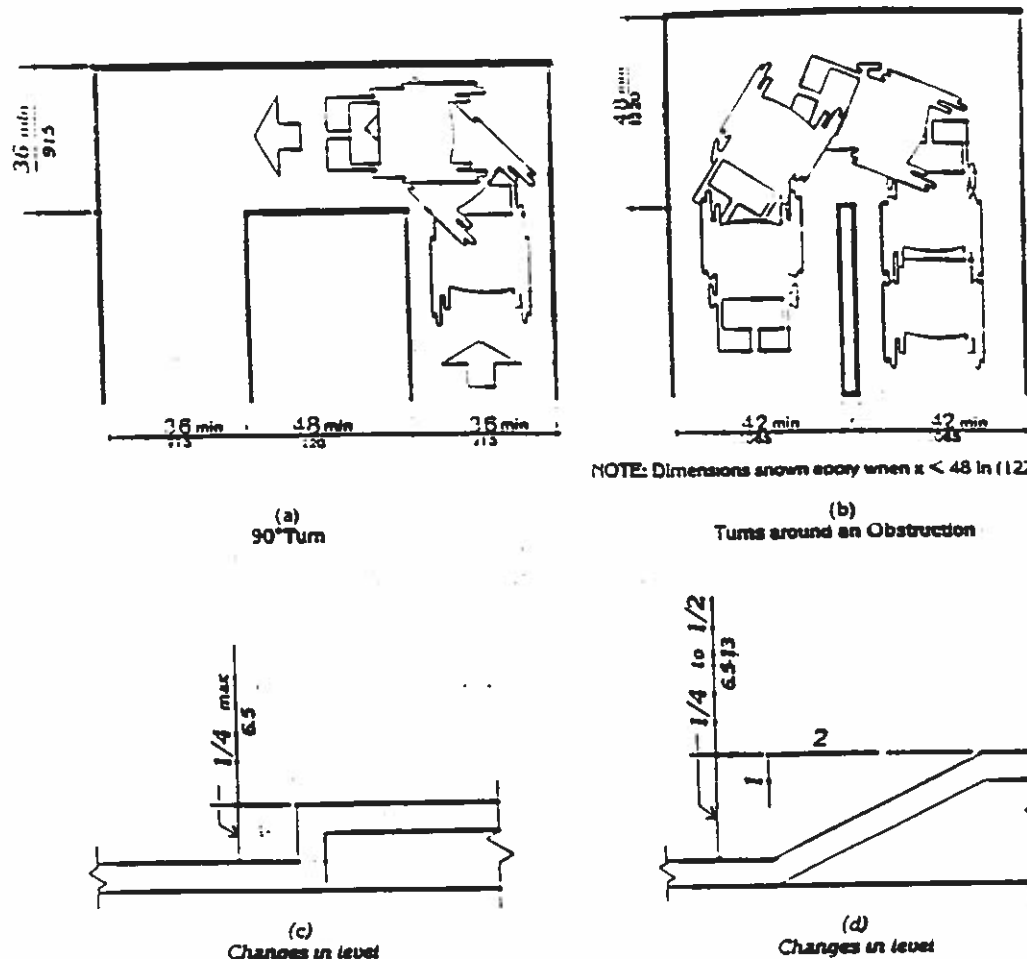
Fig. 6  
Side Reach

**4.3.7 Slope.** An accessible route with a running slope greater than 1:20 is a ramp and shall comply with 4.8. Nowhere shall the cross slope of an accessible route exceed 1:50.

**4.3.8 Changes in Levels.** Changes in levels along an accessible route shall comply with 4.5.2. If an accessible route has changes in level greater than 1/2 in (13 mm), then a curb

ramp, ramp, elevator, or platform lift (as permitted in 4.1.3 and 4.1.6) shall be provided that complies with 4.7, 4.8, 4.10, or 4.11, respectively. An accessible route does not include stairs, steps, or escalators. See definition of "egress, means of" in 3.5.

**4.3.9 Doors.** Doors along an accessible route shall comply with 4.13.

4.3.10<sup>1</sup> EgressNOTE: Dimensions shown apply when  $x < 48$  in (1220 mm).Fig. 7  
Accessible Route

**4.3.10<sup>1</sup> Egress.** Accessible routes serving any accessible space or element shall also serve as a means of egress for emergencies or connect to an accessible area of rescue assistance.

**4.3.11 Areas of Rescue Assistance.**

**4.3.11.1 Location and Construction.** An area of rescue assistance shall be one of the following:

(1) A portion of a stairway landing within a smokeproof enclosure (complying with local requirements).

(2) A portion of an exterior exit balcony located immediately adjacent to an exit stairway when the balcony complies with local requirements for exterior exit balconies. Openings to the interior of the building located within 20 feet (6 m) of the



## 4.4 Protruding Objects

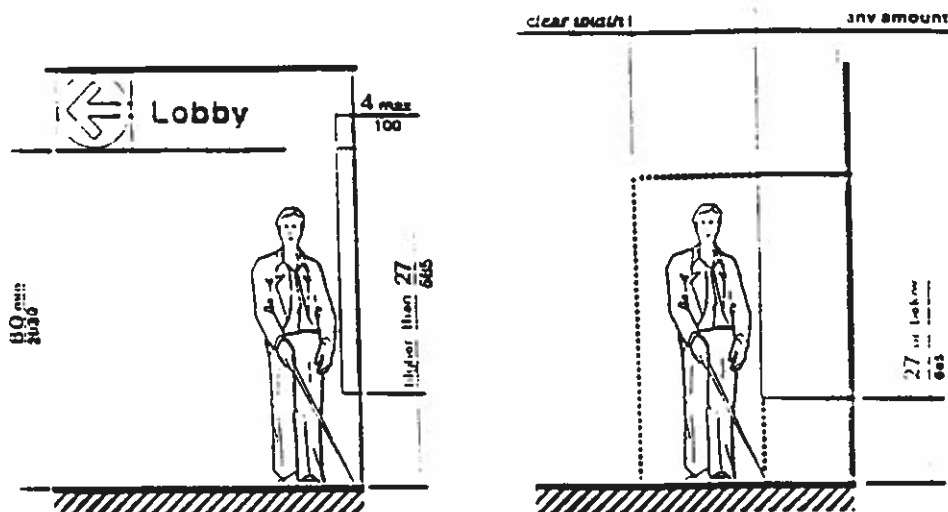


Fig. 8 (a)  
Walking Parallel to a Wall

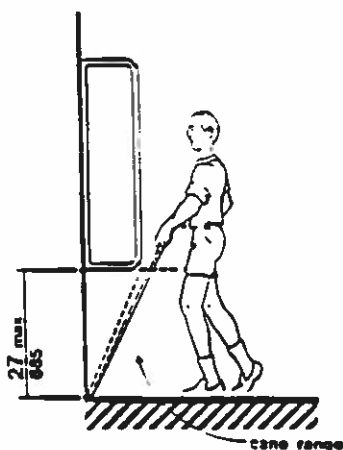


Fig. 8 (b)  
Walking Perpendicular to a Wall

Fig. 8  
Protruding Objects

finished floor (see Fig. 8(c) and (d)). Protruding objects shall not reduce the clear width of an accessible route or maneuvering space (see Fig. 8(c)).

**4.4.2 Head Room.** Walks, halls, corridors, passageways, aisles, or other circulation spaces shall have 80 in (2030 mm) minimum clear head room (see Fig. 8(a)). If vertical clearance of an area adjoining an accessible route is reduced to less than 80 in (nominal dimension), a barrier to warn blind or visually-impaired persons shall be provided (see Fig. 8(c-1)).

#### 4.5 Ground and Floor Surfaces.

**4.5.1\* General.** Ground and floor surfaces along accessible routes and in accessible rooms and spaces including floors, walks, ramps, stairs, and curb ramps, shall be stable, firm, slip-resistant, and shall comply with 4.5.

**4.5.2 Changes in Level.** Changes in level up to 1/4 in (6 mm) may be vertical and without edge treatment (see Fig. 7(c)). Changes in level between 1/4 in and 1/2 in (6 mm and 13 mm)

4.4 Protruding Objects

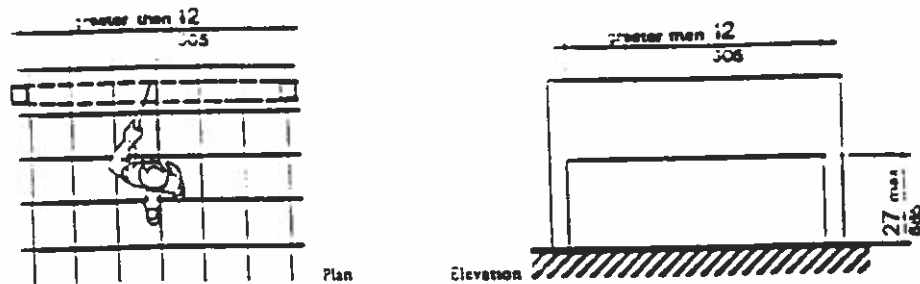


Fig. 8 (c) Free-Standing Overhanging Objects

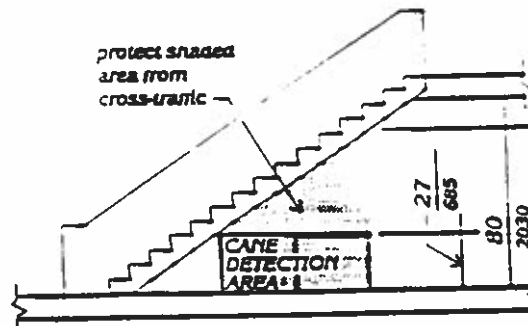


Fig. 8 (c-1) Overhead Hazards

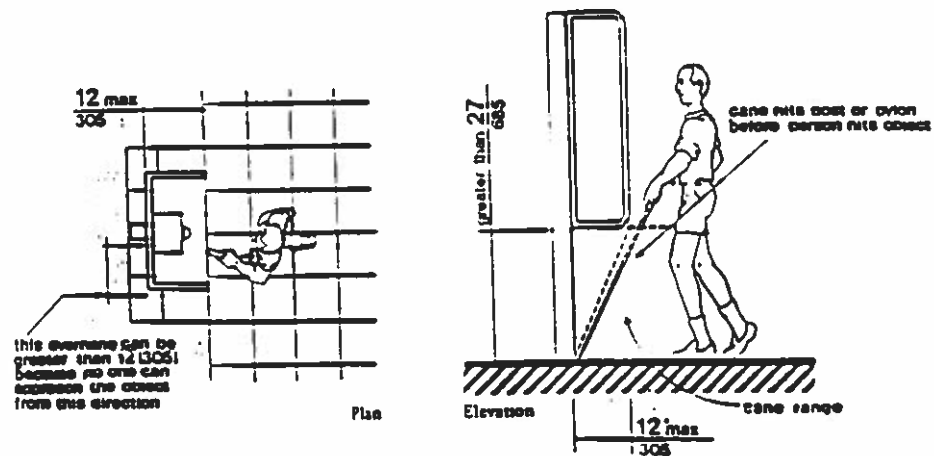


Fig. 8 (d)  
Objects Mounted on Posts or Pylons

Fig. 8  
Protruding Objects (Continued)

## 4.5 Ground and Floor Surfaces

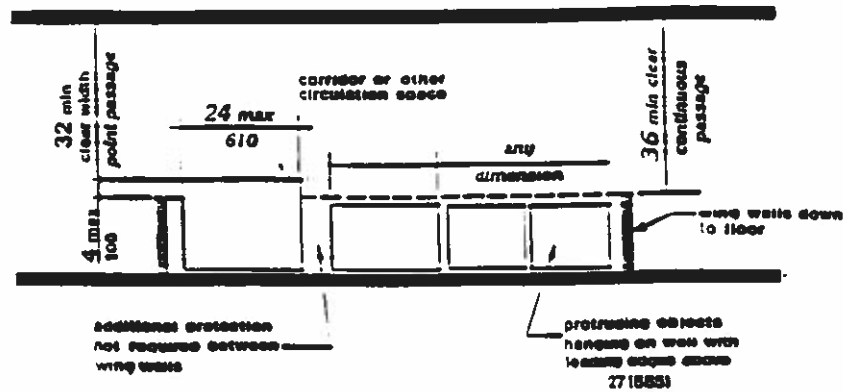


Fig. 8 (a)  
Example of Protection around Wall-Mounted Objects and Measurements of Clear Widths

Fig. 8  
Protruding Objects (Continued)

shall be beveled with a slope no greater than 1:2 (see Fig. 7(d)). Changes in level greater than 1/2 in (13 mm) shall be accomplished by means of a ramp that complies with 4.7 or 4.8.

**4.5.3\* Carpet.** If carpet or carpet tile is used on a ground or floor surface, then it shall be securely attached; have a firm cushion, pad, or backing, or no cushion or pad; and have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. The maximum pile thickness shall be 1/2 in (13 mm) (see Fig. 8(f)). Exposed edges of carpet shall be fastened to floor surfaces and have trim along the entire length of the exposed edge. Carpet edge trim shall comply with 4.5.2.

**4.5.4 Gratings.** If gratings are located in walking surfaces, then they shall have spaces no greater than 1/2 in (13 mm) wide in one direction (see Fig. 8(g)). If gratings have elongated openings, then they shall be placed so that the long dimension is perpendicular to the dominant direction of travel (see Fig. 8(h)).

## 4.6 Parking and Passenger Loading Zones.

**4.6.1 Minimum Number.** Parking spaces required to be accessible by 4.1 shall comply with 4.6.2 through 4.6.5. Passenger loading zones required to be accessible by 4.1 shall comply with 4.6.5 and 4.6.6.

## 4.6 Parking and Passenger Loading Zones

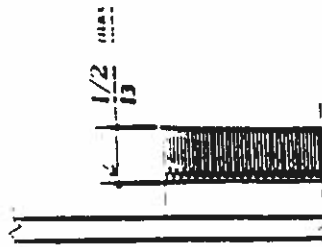


Fig. 8 (f)  
Carpet Pile Thickness

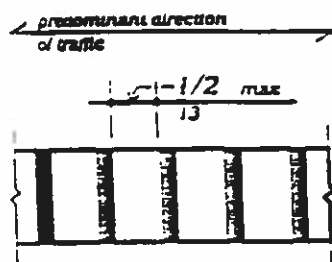


Fig. 8 (g)  
Gratings

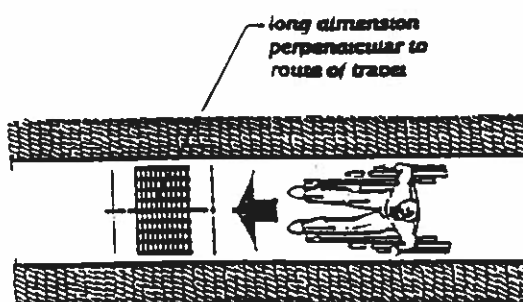


Fig. 8 (h)  
Grating Orientation

**4.6.2 Location.** Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances.

**4.6.3\* Parking Spaces.** Accessible parking spaces shall be at least 96 in (2440 mm) wide. Parking access aisles shall be part of an accessible route to the building or facility entrance and shall comply with 4.3. Two accessible parking spaces may share a common access aisle (see Fig. 9). Parked vehicle overhangs shall not reduce the clear width of an accessible route. Parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.

**4.6.4\* Signage.** Accessible parking spaces shall be designated as reserved by a sign showing the symbol of accessibility (see 4.30.7). Spaces complying with 4.1.2(5)(b) shall have an additional sign "Van-Accessible" mounted below the symbol of accessibility. Such signs shall be located so they cannot be obscured by a vehicle parked in the space.

**4.6.5\* Vertical Clearance.** Provide minimum vertical clearance of 114 in (2895 mm) at accessible passenger loading zones and along at least one vehicle access route to such areas from site entrances and exits. At parking spaces complying with 4.1.2(5)(b), provide minimum vertical clearance of 98 in (2490 mm) at the parking space and along at least one vehicle access route to such spaces from site entrances and exits.

**4.6.6 Passenger Loading Zones.** Passenger loading zones shall provide an access aisle at least 60 in (1525 mm) wide and 20 ft (240 in) (6100 mm) long adjacent and parallel to the vehicle pull-up space (see Fig. 10). If there are curbs between the access aisle and the vehicle pull-up space, then a curb ramp complying with 4.7 shall be provided. Vehicle standing spaces and access aisles shall be level with

#### 4.7 Curb Ramps

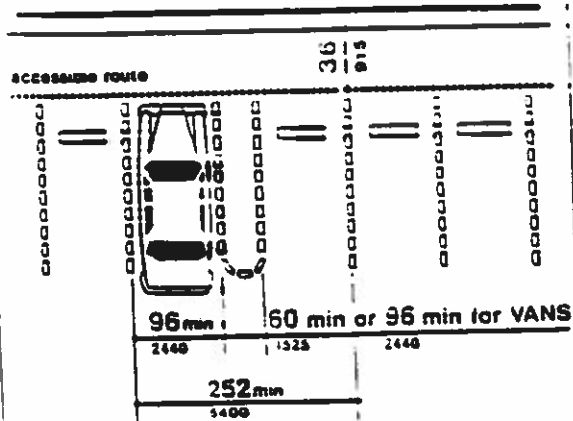


Fig. 9  
Dimensions of Parking Spaces

surface slopes not exceeding 1:50 (2%) in all directions.

#### 4.7 Curb Ramps.

**4.7.1 Location.** Curb ramps complying with 4.7 shall be provided wherever an accessible route crosses a curb.

**4.7.2 Slope.** Slopes of curb ramps shall comply with 4.8.2. The slope shall be measured as shown in Fig. 11. Transitions from ramps to walks, gutters, or streets shall be flush and free of abrupt changes. Maximum slopes of adjoining gutters, road surface immediately adjacent to the curb ramp, or accessible route shall not exceed 1:20.

**4.7.3 Width.** The minimum width of a curb ramp shall be 36 in (915 mm), exclusive of flared sides.

**4.7.4 Surface.** Surfaces of curb ramps shall comply with 4.5.

**4.7.5 Sides of Curb Ramps.** If a curb ramp is located where pedestrians must walk across the ramp, or where it is not protected by handrails or guardrails, it shall have flared sides; the maximum slope of the flare shall be 1:10 (see Fig. 12(a)). Curb ramps with returned curbs

may be used where pedestrians would not normally walk across the ramp (see Fig. 12(b)).

**4.7.6 Built-up Curb Ramps.** Built-up curb ramps shall be located so that they do not project into vehicular traffic lanes (see Fig. 13).

**4.7.7 Detectable Warnings.** A curb ramp shall have a detectable warning complying with 4.29.2. The detectable warning shall extend the full width and depth of the curb ramp.

**4.7.8 Obstructions.** Curb ramps shall be located or protected to prevent their obstruction by parked vehicles.

**4.7.9 Location at Marked Crossings.** Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides (see Fig. 15).

**4.7.10 Diagonal Curb Ramps.** If diagonal (or corner type) curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48 in (1220 mm) minimum clear space as shown in Fig. 15(c) and (d). If diagonal curb ramps are provided at marked crossings, the 48 in (1220 mm) clear space shall be within the markings (see Fig. 15(c) and (d)). If diagonal curb ramps have flared sides, they shall also have at least a 24 in (610 mm) long segment of straight curb located on each side of the curb ramp and within the marked crossing (see Fig. 15(c)).

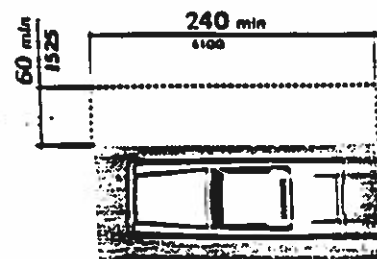


Fig. 10  
Access Aisle at Passenger Loading Zones

## 4.8 Ramps

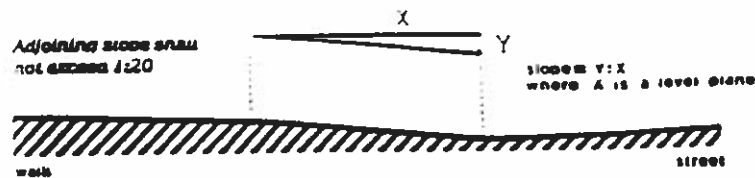
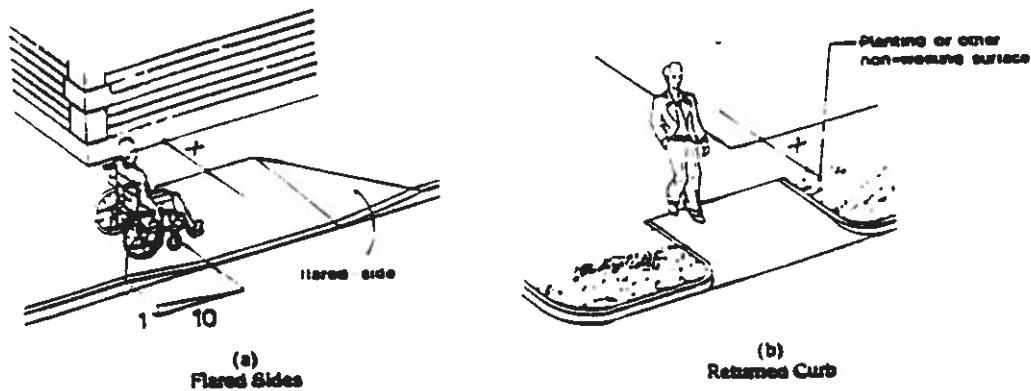


Fig. 11  
Measurement of Curb Ramp Slopes



If  $X$  is less than 48 in.,  
then the slope of the flared side  
shall not exceed 1:12.

Fig. 12  
Sides of Curb Ramps

**4.7.11 Islands.** Any raised islands in crossings shall be cut through level with the street or have curb ramps at both sides and a level area at least 48 in (1220 mm) long between the curb ramps in the part of the island intersected by the crossings (see Fig. 15(a) and (b)).

#### 4.8 Ramps.

**4.8.1\* General.** Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8.

**4.8.2\* Slope and Rise.** The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any run shall be 30 in (760 mm) (see Fig. 16). Curb ramps

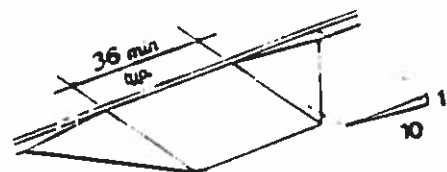


Fig. 13  
Built-Up Curb Ramp

and ramps to be constructed on existing sites or in existing buildings or facilities may have slopes and rises as allowed in 4.1.6(3)(a) if space limitations prohibit the use of a 1:12 slope or less.

## 4.8 Ramps

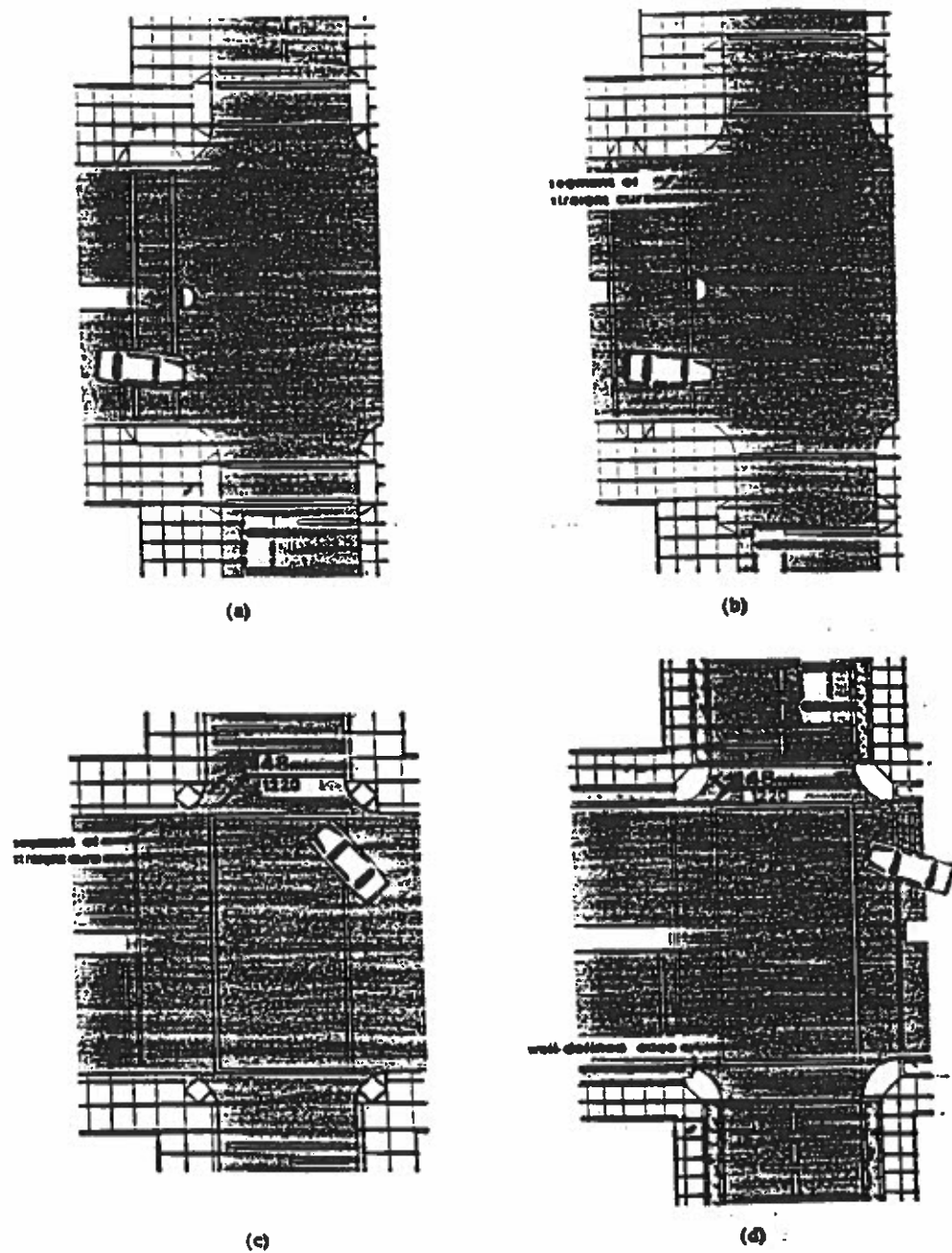


Fig. 15  
Curb Ramps at Marked Crossings

## 4.8 Ramps

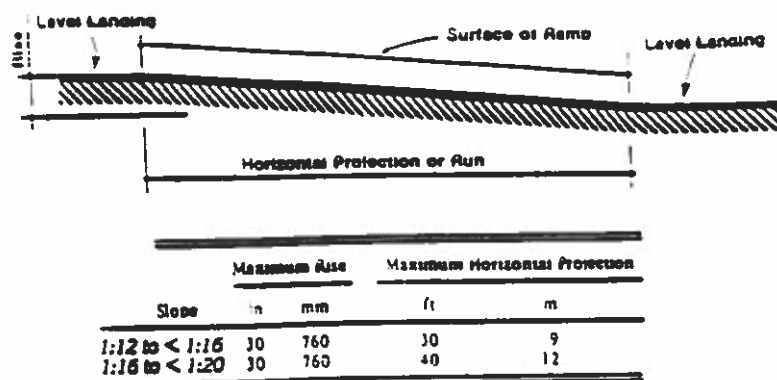


Fig. 16

Components of a Single Ramp Run and Sample Ramp Dimensions

**4.8.3 Clear Width.** The minimum clear width of a ramp shall be 36 in (915 mm).

**4.8.4 Landings.** Ramps shall have level landings at bottom and top of each ramp and each ramp run. Landings shall have the following features:

- (1) The landing shall be at least as wide as the ramp run leading to it.
- (2) The landing length shall be a minimum of 60 in (1525 mm) clear.
- (3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm).
- (4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6.

**4.8.5 Handrails.** If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps or adjacent to seating in assembly areas. Handrails shall comply with 4.26 and shall have the following features:

(1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switchback or dogleg ramps shall always be continuous.

(2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface (see Fig. 17).

(3) The clear space between the handrail and the wall shall be 1 - 1/2 in (38 mm).

(4) Gripping surfaces shall be continuous.

(5) Top of handrail gripping surfaces shall be mounted between 34 in and 38 in (865 mm and 965 mm) above ramp surfaces.

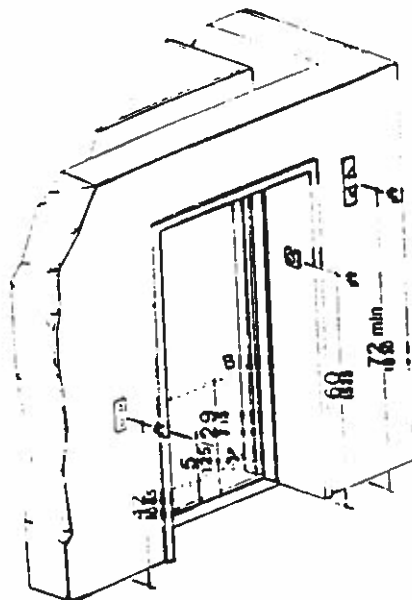
(6) Ends of handrails shall be either rounded or returned smoothly to floor, wall, or post.

(7) Handrails shall not rotate within their fittings.

**4.8.6 Cross Slope and Surfaces.** The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.



## 4.10 Elevators



NOTE: The automatic door reopening device is activated if an object passes through either line A or line B. Line A and line B represent the vertical locations of the door reopening device not requiring contact.

Fig. 20  
Hoistway and Elevator Entrances

**4.10.4 Hall Lanterns.** A visible and audible signal shall be provided at each hoistway entrance to indicate which car is answering a call. Audible signals shall sound once for the up direction and twice for the down direction or shall have verbal annunciators that say "up" or "down." Visible signals shall have the following features:

- (1) Hall lantern fixtures shall be mounted so that their centerline is at least 72 in (1830 mm) above the lobby floor. (See Fig. 20.)
- (2) Visual elements shall be at least 2-1/2 in (64 mm) in the smallest dimension.
- (3) Signals shall be visible from the vicinity of the hall call button (see Fig. 20). In-car lanterns located in cars, visible from the vicinity of hall call buttons, and conforming to the above requirements, shall be acceptable.

**4.10.5 Raised and Braille Characters on Hoistway Entrances.** All elevator hoistway entrances shall have raised and Braille floor designations provided on both jambs. The centerline of the characters shall be 60 in (1525 mm) above finish floor. Such characters shall be 2 in (50 mm) high and shall comply with 4.30.4. Permanently applied plates are acceptable if they are permanently fixed to the jambs. (See Fig. 20).

**4.10.6 Door Protective and Reopening Device.** Elevator doors shall open and close automatically. They shall be provided with a reopening device that will stop and reopen a car door and hoistway door automatically if the door becomes obstructed by an object or person. The device shall be capable of completing these operations without requiring contact for an obstruction passing through the opening at heights of 5 in and 29 in (125 mm and 735 mm) above finish floor (see Fig. 20). Door reopening devices shall remain effective for at least 20 seconds. After such an interval, doors may close in accordance with the requirements of ASME A17.1-1990.

**4.10.7 Door and Signal Timing for Hall Calls.** The minimum acceptable time from notification that a car is answering a call until the doors of that car start to close shall be calculated from the following equation:

$$T = D/(1.5 \text{ ft/s}) \text{ or } T = D/(445 \text{ mm/s})$$

where T total time in seconds and D distance (in feet or millimeters) from a point in the lobby or corridor 60 in (1525 mm) directly in front of the farthest call button controlling that car to the centerline of its hoistway door (see Fig. 21). For cars with in-car lanterns, T begins when the lantern is visible from the vicinity of hall call buttons and an audible signal is sounded. The minimum acceptable notification time shall be 5 seconds.

**4.10.8 Door Delay for Car Calls.** The minimum time for elevator doors to remain fully open in response to a car call shall be 3 seconds.

**4.10.9 Floor Plan of Elevator Cars.** The floor area of elevator cars shall provide space for wheelchair users to enter the car, maneuver

## 4.10.12 Car Controls

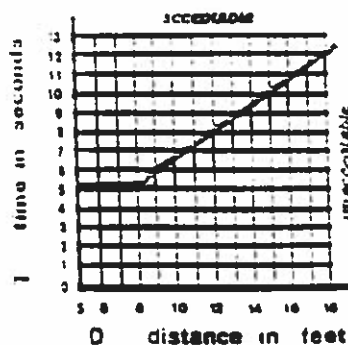


Fig. 21  
Graph of Timing Equation

within reach of controls, and exit from the car. Acceptable door opening and inside dimensions shall be as shown in Fig. 22. The clearance between the car platform sill and the edge of any hoistway landing shall be no greater than 1-1/4 in (32 mm).

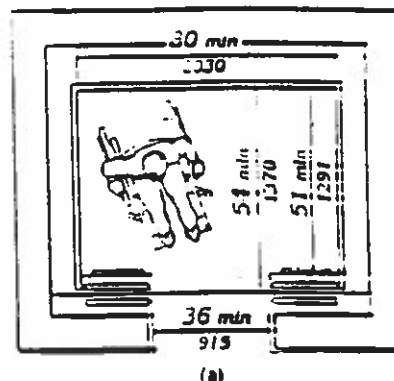
**4.10.10 Floor Surfaces.** Floor surfaces shall comply with 4.5.

**4.10.11 Illumination Levels.** The level of illumination at the car controls, platform, and car threshold and landing sill shall be at least 5 footcandles (53.8 lux).

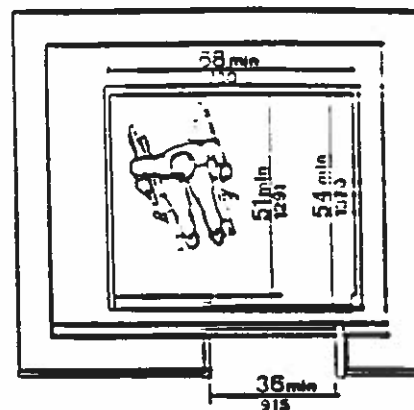
**4.10.12\* Car Controls.** Elevator control panels shall have the following features:

(1) **Buttons.** All control buttons shall be at least 3/4 in (19 mm) in their smallest dimension. They shall be raised or flush.

(2) **Tactile, Braille, and Visual Control Indicators.** All control buttons shall be designated by Braille and by raised standard alphabet characters for letters, arabic characters for numerals, or standard symbols as shown in Fig. 23(a), and as required in ASME A17.1-1990. Raised and Braille characters and symbols shall comply with 4.30. The call button for the main entry floor shall be designated by a raised star at the left of the floor designation (see Fig. 23(a)). All raised designations for control buttons shall be placed immediately to the left of the button to which they apply. Applied plates,



(a)



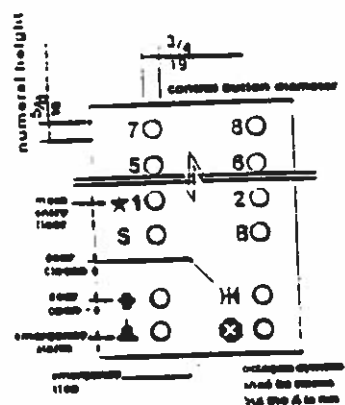
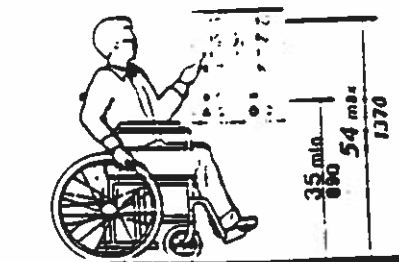
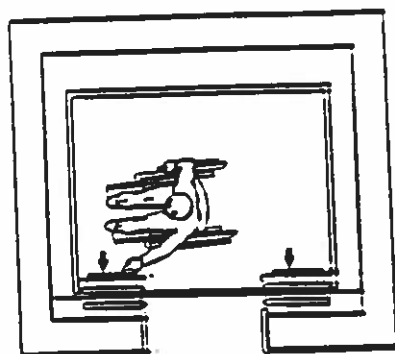
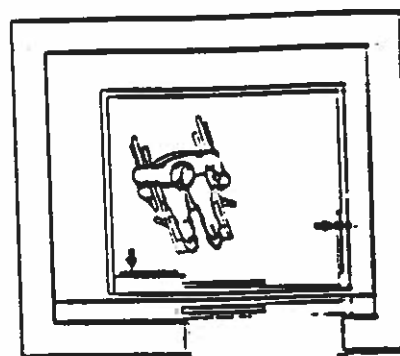
(b)

Fig. 22  
Minimum Dimensions of Elevator Cars

permanently attached, are an acceptable means to provide raised control designations. Floor buttons shall be provided with visual indicators to show when each call is registered. The visual indicators shall be extinguished when each call is answered.

(3) **Height.** All floor buttons shall be no higher than 54 in (1370 mm) above the finish floor for side approach and 48 in (1220 mm) for front approach. Emergency controls, including the emergency alarm and emergency stop, shall be grouped at the bottom of the panel and shall have their centerlines no less than 35 in (890 mm) above the finish floor (see Fig. 23(a) and (b)).

## 4.10.13\* Car Position Indicators

(a)  
Panel Detail(b)  
Car Control Height(c)  
Alternate Locations of Panel  
with Center Opening Door(d)  
Alternate Locations of Panel  
with Side Opening DoorFig. 23  
Car Controls

(4) Location. Controls shall be located on a front wall if cars have center opening doors, and at the side wall or at the front wall next to the door if cars have side opening doors (see Fig. 23(c) and (d)).

**4.10.13\* Car Position Indicators.** In elevator cars, a visual car position indicator shall be provided above the car control panel or over the door to show the position of the elevator in the hoistway. As the car passes or stops at a floor served by the elevators, the corresponding numerals shall illuminate.

and an audible signal shall sound. Numerals shall be a minimum of  $1/2$  in (13 mm) high. The audible signal shall be no less than 20 decibels with a frequency no higher than 1500 Hz. An automatic verbal announcement of the floor number at which a car stops or which a car passes may be substituted for the audible signal.

**4.10.14\* Emergency Communications.** If provided, emergency two-way communication systems between the elevator and a point outside the hoistway shall comply with ASME

## 4.13 Doors

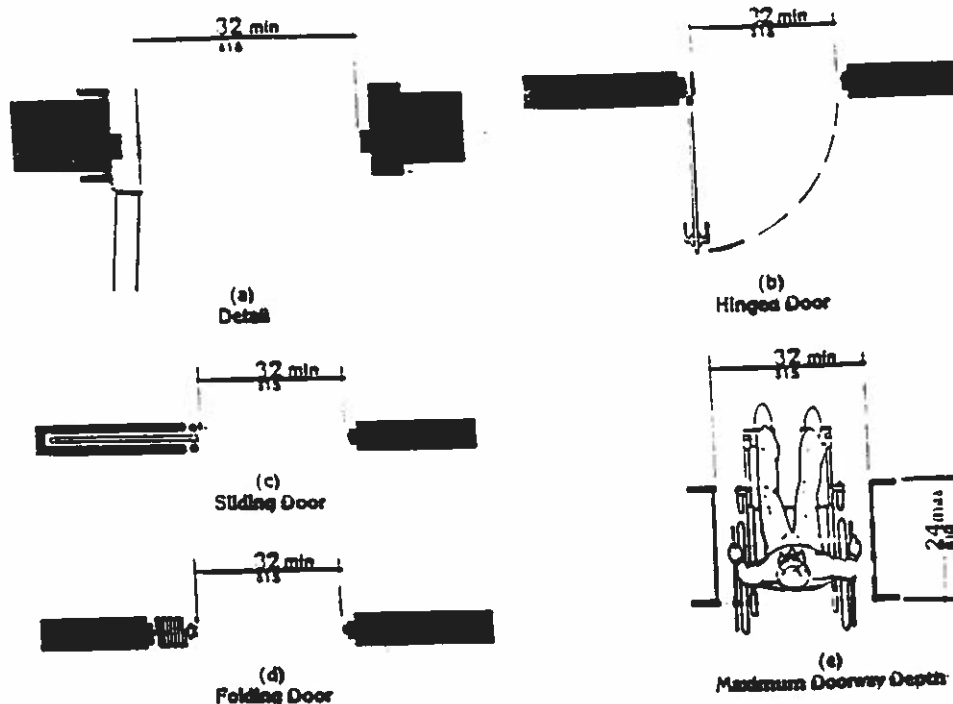


Fig. 24  
Clear Doorway Width and Depth

to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate. Lever-operated mechanisms, push-type mechanisms, and U-shaped handles are acceptable designs. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides. Hardware required for accessible door passage shall be mounted no higher than 48 in (1220 mm) above finished floor.

**4.13.10° Door Closers.** If a door has a closer, then the sweep period of the closer shall be adjusted so that from an open position of 70 degrees, the door will take at least 3 seconds to move to a point 3 in (75 mm) from the latch, measured to the leading edge of the door.

**4.13.11° Door Opening Force.** The maximum force for pushing or pulling open a door shall be as follows:

(1) Fire doors shall have the minimum opening force allowable by the appropriate administrative authority.

(2) Other doors.

- (a) exterior hinged doors: (Reserved).
- (b) interior hinged doors: 5 lbf (22.2N)
- (c) sliding or folding doors: 5 lbf (22.2N)

These forces do not apply to the force required to retract latch bolts or disengage other devices that may hold the door in a closed position.

## 4.13 Doors

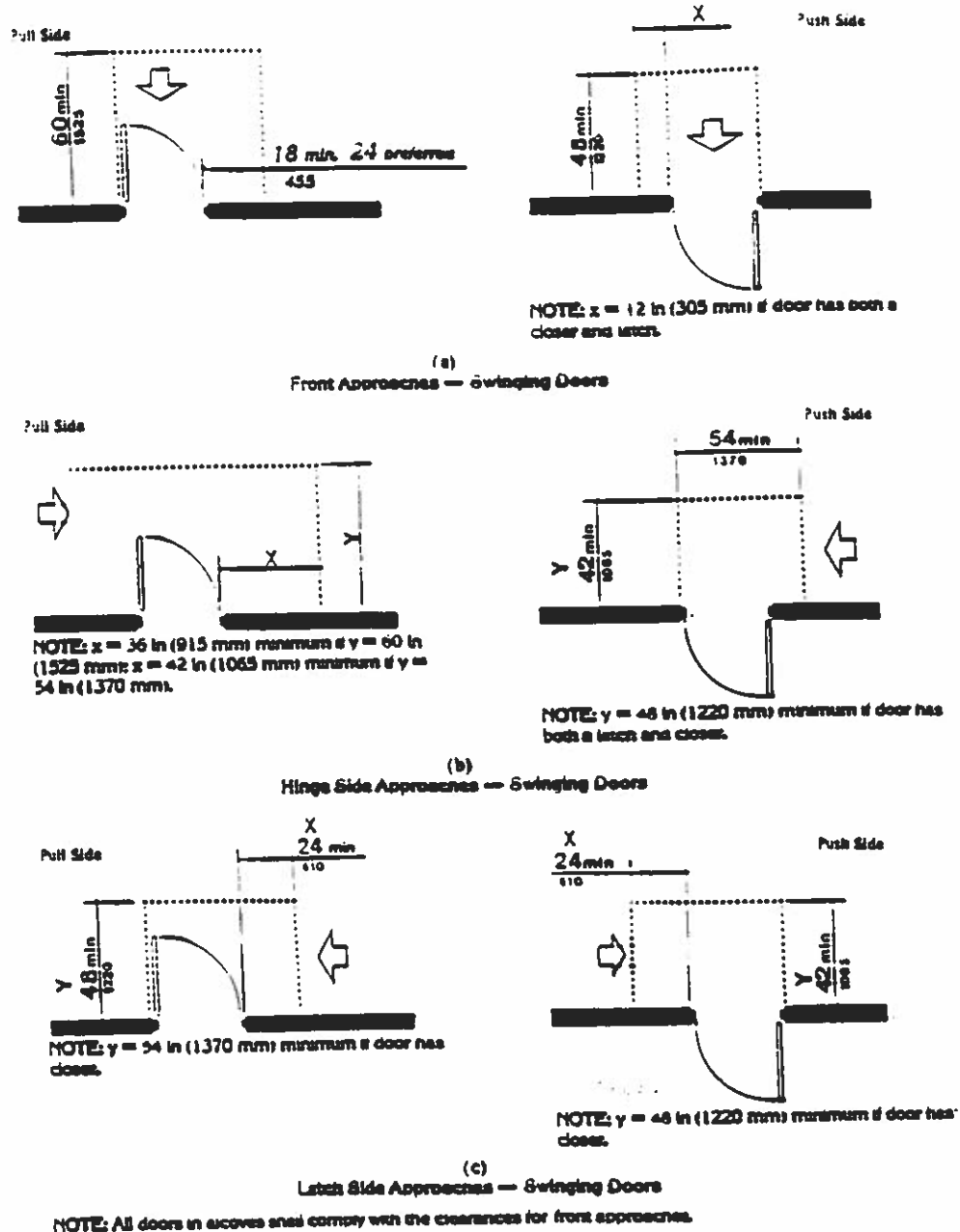
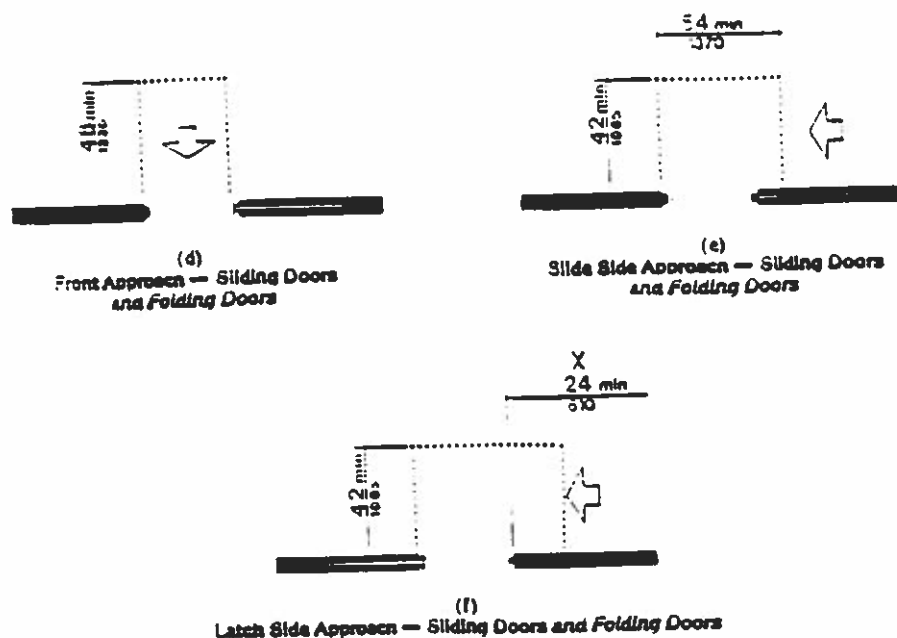


Fig. 25  
Maneuvering Clearances at Doors

4.13 Doors



NOTE: All doors in alcoves shall comply with the clearances for front approaches.

Fig. 25  
Maneuvering Clearances at Doors (Continued)

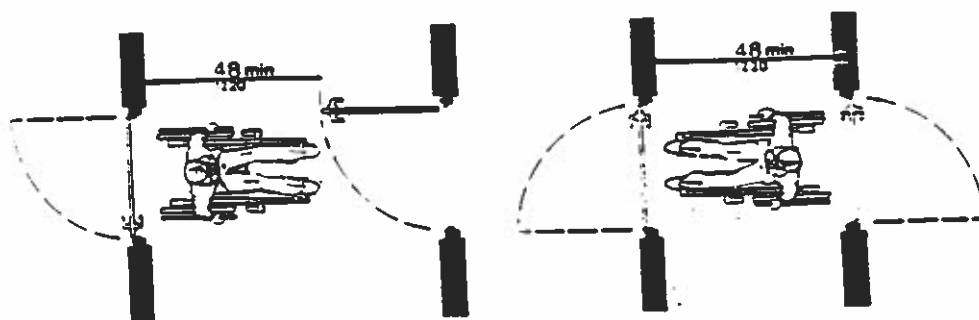


Fig. 26  
Two Hinged Doors in Series

## 4.17 Toilet Stalls

shall be mounted on the wide side of toilet areas no more than 44 in (1120 mm) above the floor.

**4.16.8 Dispensers.** Toilet paper dispensers shall be installed within reach, as shown in Fig. 29(b). Dispensers that control delivery, or that do not permit continuous paper flow, shall not be used.

## 4.17 Toilet Stalls.

**4.17.1 Location.** Accessible toilet stalls shall be on an accessible route and shall meet the requirements of 4.17.

**4.17.2 Water Closets.** Water closets in accessible stalls shall comply with 4.16.

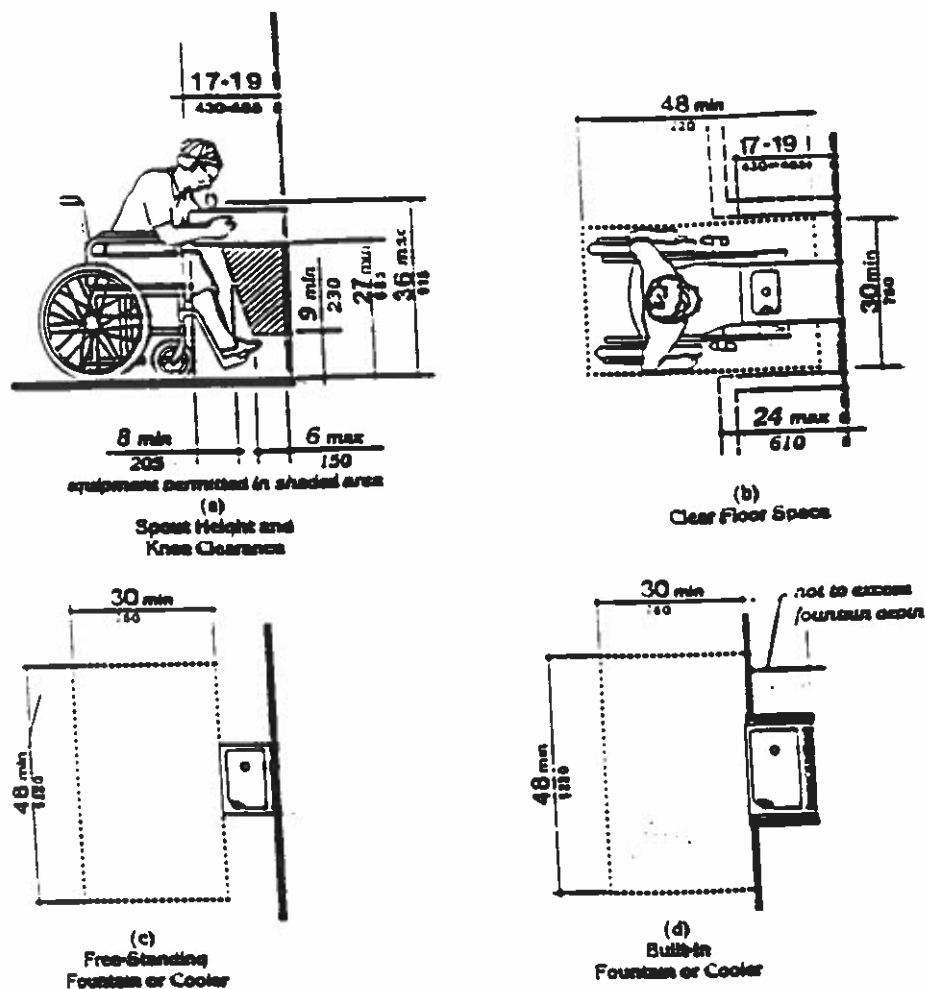


Fig. 27  
Drinking Fountains and Water Coolers

## 4.17 Toilet Stalls

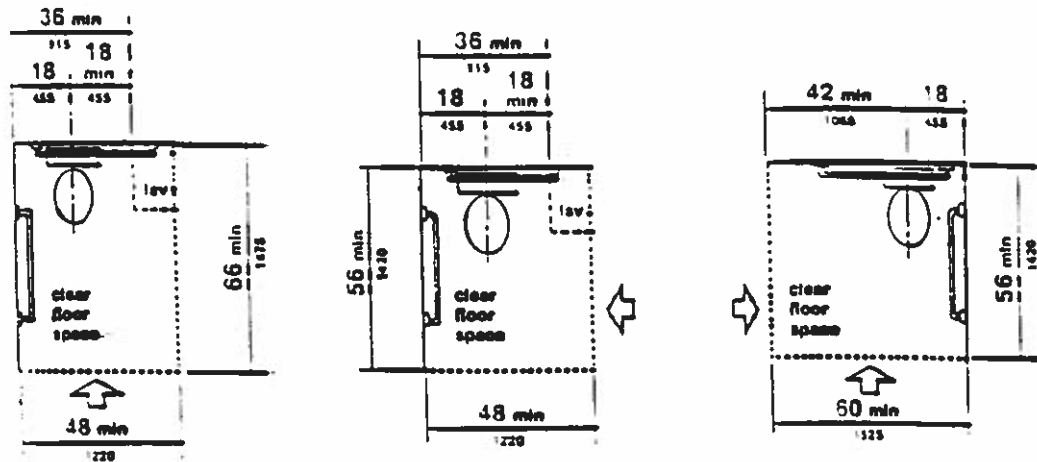


Fig. 28  
Clear Floor Space at Water Closets

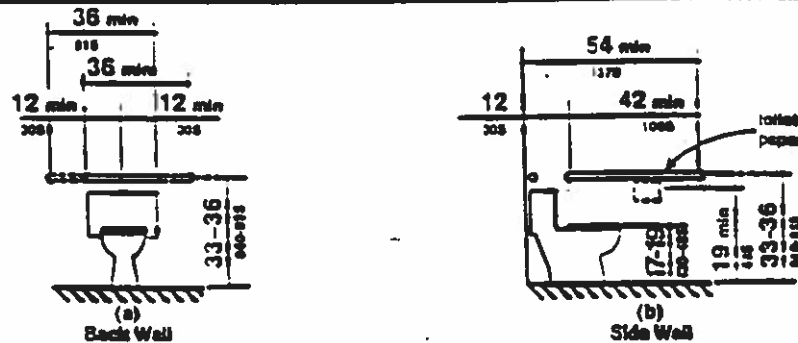


Fig. 29  
Grab Bars at Water Closets

**4.17.3\* Size and Arrangement.** The size and arrangement of the standard toilet stall shall comply with Fig. 30(a), *Standard Stall*. Standard toilet stalls with a minimum depth of 56 in (1420 mm) (see Fig. 30(a)) shall have wall-mounted water-closets. If the depth of a standard toilet stall is increased at least 3 in (75 mm), then a floor-mounted water closet may be used. Arrangements shown for standard toilet stalls may be reversed to allow either a left- or right-hand approach. Additional stalls shall be provided in conformance with 4.22.4.

**EXCEPTION:** In instances of alteration work where provision of a standard stall (Fig. 30(a))

is technically infeasible or where plumbing code requirements prevent combining existing stalls to provide space, either alternate stall (Fig. 30(b)) may be provided in lieu of the standard stall.

**4.17.4 Toe Clearances.** In standard stalls, the front partition and at least one side partition shall provide a toe clearance of at least 9 in (230 mm) above the floor. If the depth of the stall is greater than 60 in (1525 mm), then the toe clearance is not required.

**4.17.5\* Doors.** Toilet stall doors, including door hardware, shall comply with 4.13. If toilet stall approach is from the latch side of the stall door, clearance between the door side of the



Figure 30 illustrates the dimensions and layout for various toilet stalls, categorized into four types: (a) Standard Stall, (b) Alternate Stalls, (c) Rear Wall of Standard Stall, and (d) Side Walls.

**(a) Standard Stall**

- Door swing: 32 min (815)
- Door width: 18 in (455)
- Door thickness: 12 max (305)
- Stall width: 52 min (1330)
- Wall-mounted w.c.: 56 min (1410)
- Floor-mounted w.c.: 59 min (1500)
- Clear floor space: 36 min (915)

**(b) Alternate Stalls**

- Door swing: 42 min (1065)
- Door width: 12 max (305)
- Door thickness: 36 in (915)
- Stall width: 18 in (455)
- Door thickness: 12 max (305)
- Stall width: 54 min (1370)
- Wall-mounted w.c.: 56 min (1410)
- Floor-mounted w.c.: 59 min (1500)
- Stall width: 48 min (1230)
- Door swing: 32 min (815)
- Door width: 18 in (455)
- Door thickness: 12 max (305)
- Stall width: 54 min (1370)

**(c) Rear Wall of Standard Stall**

- Door swing: 36 min (915)
- Door width: 18 in (455)
- Door thickness: 12 max (305)
- Stall width: 54 min (1370)
- Wall-mounted w.c.: 56 min (1410)
- Floor-mounted w.c.: 59 min (1500)

**(d) Side Walls**

- Door swing: 12 max (305)
- Door width: 40/42 min (1015/1040)
- Door thickness: 36 max (915)
- Stall width: 17-19 in (430-480)
- Door width: 12 min (305)
- Stall width: 32-36 in (815-915)
- Wall-mounted w.c.: 56 min (1410)
- Floor-mounted w.c.: 59 min (1500)

#### 4.19 Lavatories and Mirrors

*stall and any obstruction may be reduced to a minimum of 42 in (1065 mm) (Fig. 30).*

**4.17.8 Grab Bars.** Grab bars complying with the length and positioning shown in Fig. 30(a), (b), (c), and (d) shall be provided. Grab bars may be mounted with any desired method as long as they have a gripping surface at the locations shown and do not obstruct the required clear floor area. Grab bars shall comply with 4.26.

#### 4.18 Urinals.

**4.18.1 General.** Accessible urinals shall comply with 4.18.

**4.18.2 Height.** Urinals shall be stall-type or wall-hung with an elongated rim at a maximum of 17 in (430 mm) above the finish floor.

**4.18.3 Clear Floor Space.** A clear floor space 30 in by 48 in (760 mm by 1220 mm) shall be provided in front of urinals to allow forward approach. This clear space shall adjoin or overlap an accessible route and shall comply with 4.2.4. *Urinal shields that do not extend beyond the front edge of the urinal rim may be provided with 29 in (735 mm) clearance between them.*

**4.18.4 Flush Controls.** Flush controls shall be hand operated or automatic, and shall comply with 4.27.4, and shall be mounted no more than 44 in (1120 mm) above the finish floor.

#### 4.19 Lavatories and Mirrors.

**4.19.1 General.** The requirements of 4.19 shall apply to lavatory fixtures, vanities, and built-in lavatories.

**4.19.2 Height and Clearances.** Lavatories shall be mounted with the rim or counter surface no higher than 34 in (865 mm) above the finish floor. Provide a clearance of at least 29 in (735 mm) above the finish floor to the bottom of the apron. Knee and toe clearance shall comply with Fig. 31.

**4.19.3 Clear Floor Space.** A clear floor space 30 in by 48 in (760 mm by 1220 mm) complying with 4.2.4 shall be provided in front of a lavatory to allow forward approach. Such

clear floor space shall adjoin or overlap an accessible route and shall extend a maximum of 19 in (485 mm) underneath the lavatory (see Fig. 32).

**4.19.4 Exposed Pipes and Surfaces.** Hot water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories.

**4.19.5 Faucets.** Faucets shall comply with 4.27.4. Lever-operated, push-type, and electronically controlled mechanisms are examples of acceptable designs. If self-closing valves are

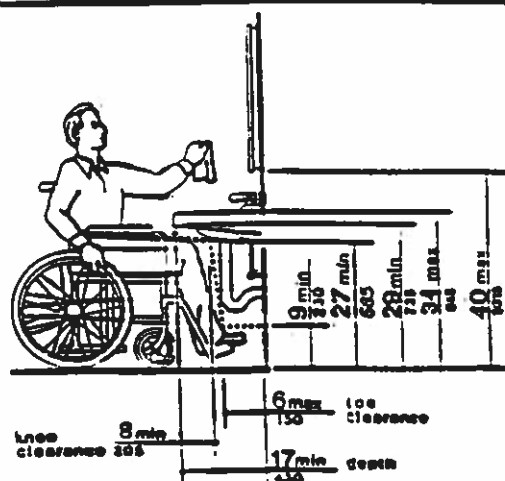


Fig. 31  
Lavatory Clearances

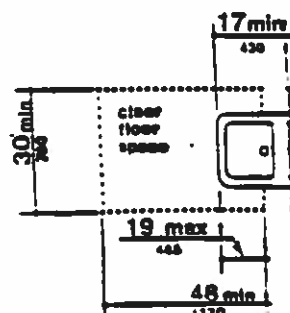


Fig. 32  
Clear Floor Space at Lavatories

#### 4.26 Handrails, Grab Bars, and Tub and Shower Seats

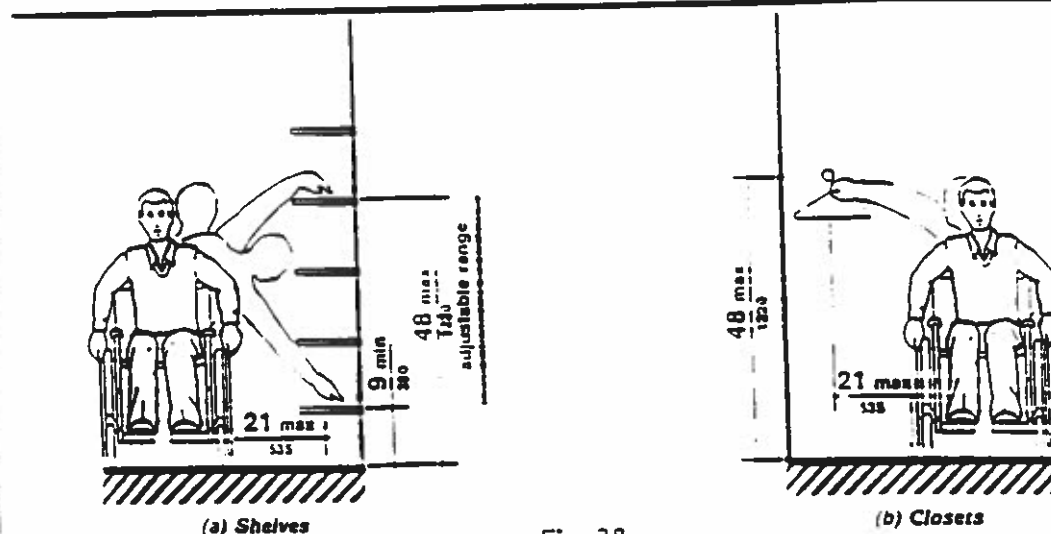


Fig. 38  
Storage Shelves and Closets

#### 4.26 Handrails, Grab Bars, and Tub and Shower Seats.

**4.26.1\* General.** All handrails, grab bars, and tub and shower seats required to be accessible by 4.1, 4.8, 4.9, 4.16, 4.17, 4.20 or 4.21 shall comply with 4.26.

**4.26.2\* Size and Spacing of Grab Bars and Handrails.** The diameter or width of the gripping surfaces of a handrail or grab bar shall be 1-1/4 in to 1-1/2 in (32 mm to 38 mm), or the shape shall provide an equivalent gripping surface. If handrails or grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1-1/2 in (38 mm) (see Fig. 39(a), (b), (c), and (d)). Handrails may be located in a recess if the recess is a maximum of 3 in (75 mm) deep and extends at least 18 in (455 mm) above the top of the rail (see Fig. 39(d)).

**4.26.3 Structural Strength.** The structural strength of grab bars, tub and shower seats, fasteners, and mounting devices shall meet the following specification:

(1) Bending stress in a grab bar or seat induced by the maximum bending moment from the application of 250 lbf (1112N) shall

be less than the allowable stress for the material of the grab bar or seat.

(2) Shear stress induced in a grab bar or seat by the application of 250 lbf (1112N) shall be less than the allowable shear stress for the material of the grab bar or seat. If the connection between the grab bar or seat and its mounting bracket or other support is considered to be fully restrained, then direct and torsional shear stresses shall be totaled for the combined shear stress, which shall not exceed the allowable shear stress.

(3) Shear force induced in a fastener or mounting device from the application of 250 lbf (1112N) shall be less than the allowable lateral load of either the fastener or mounting device or the supporting structure, whichever is the smaller allowable load.

(4) Tensile force induced in a fastener by a direct tension force of 250 lbf (1112N) plus the maximum moment from the application of 250 lbf (1112N) shall be less than the allowable withdrawal load between the fastener and the supporting structure.

(5) Grab bars shall not rotate within their fittings.

## 4.26 Handrails, Grab Bars, and Tub and Shower Seats

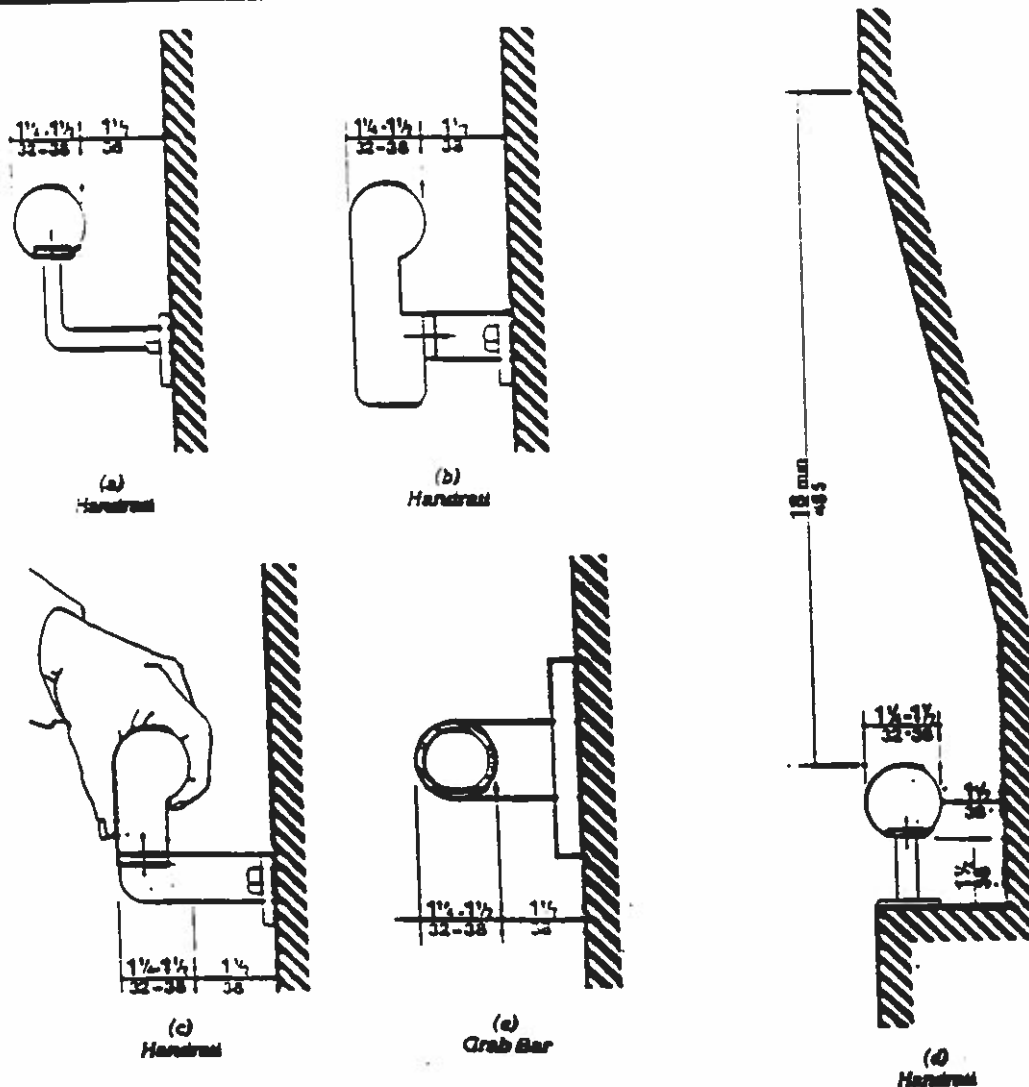


Fig. 39  
Size and Spacing of Handrails and Grab Bars

**4.26.4 Eliminating Hazards.** A handrail or grab bar and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of 1/8 in (3.2 mm).

#### 4.27 Controls and Operating Mechanisms.

**4.27.1 General.** Controls and operating mechanisms required to be accessible by 4.1 shall comply with 4.27.

## 4.31 Telephones

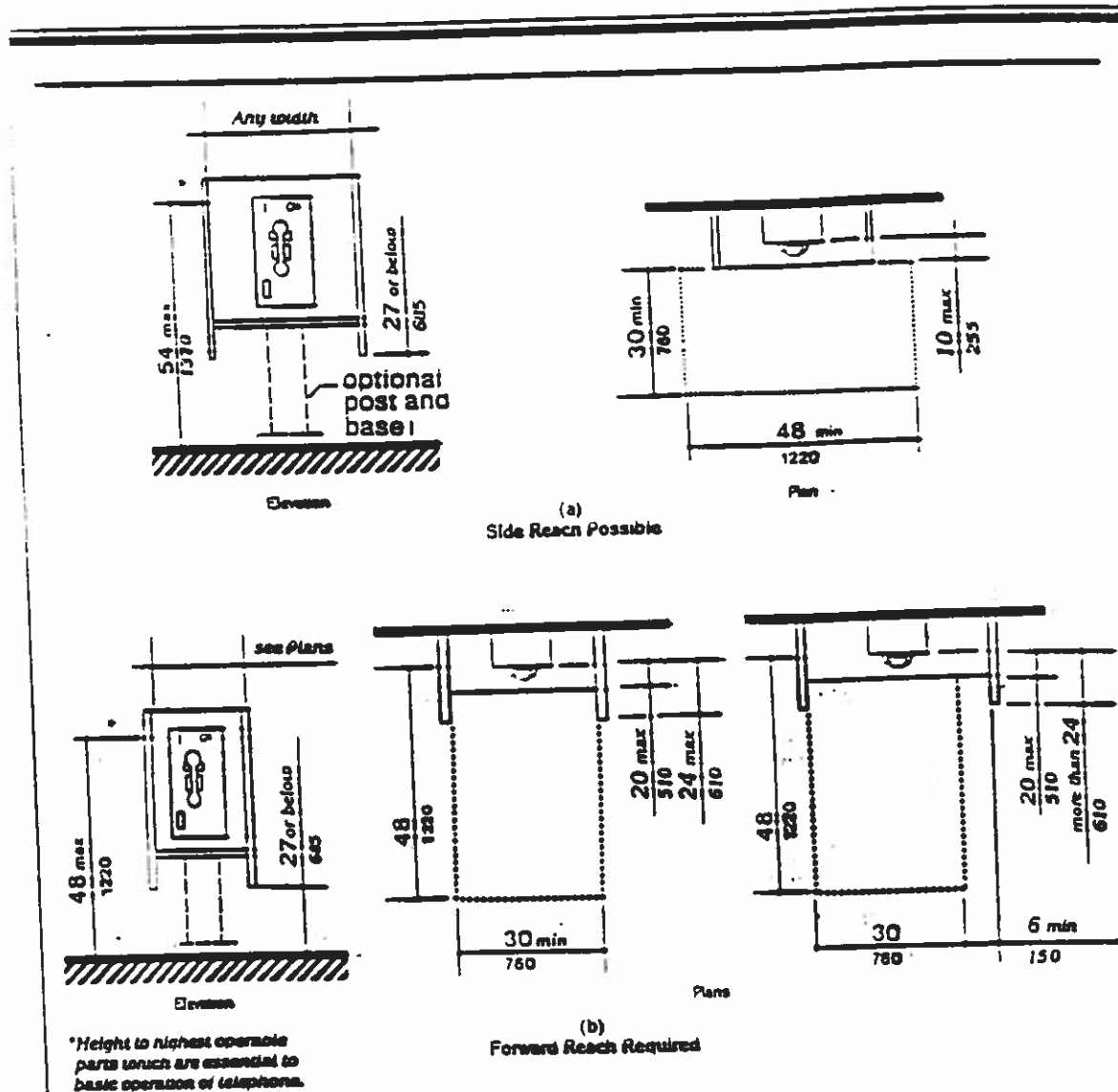


Fig. 44  
Mounting Heights and Clearances for Telephones

**4.31.5 Hearing Aid Compatible and Volume Control Telephones Required by 4.1.**

(1) Telephones shall be hearing aid compatible.

(2) Volume controls, capable of a minimum of 12 dbA and a maximum of 18 dbA above

normal, shall be provided in accordance with 4.1.3. If an automatic reset is provided then 18 dbA may be exceeded.

**4.31.6 Controls.** Telephones shall have pushbutton controls where service for such equipment is available.

4.33 Assembly Areas

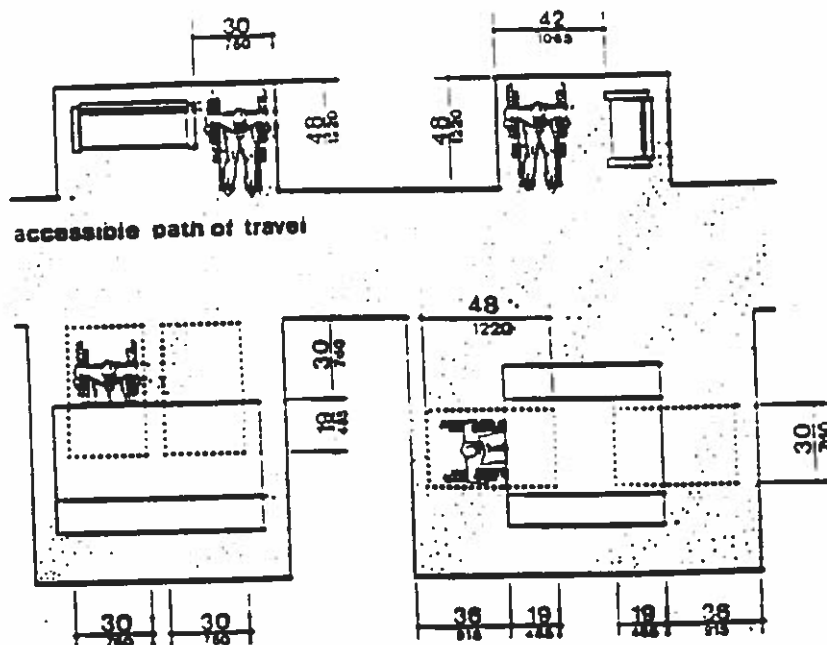


Fig. 45  
Minimum Clearances for Seating and Tables

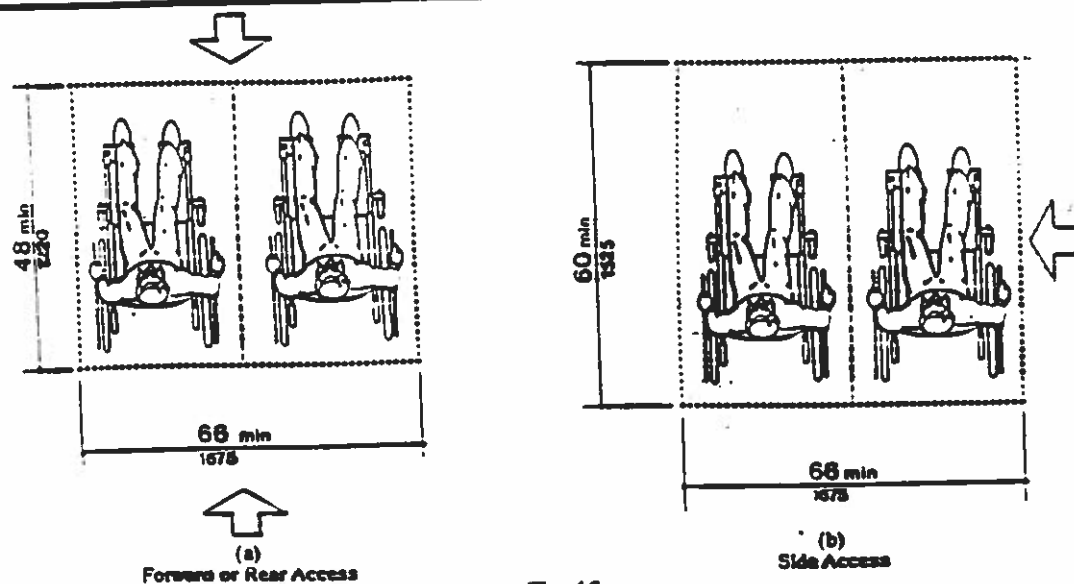


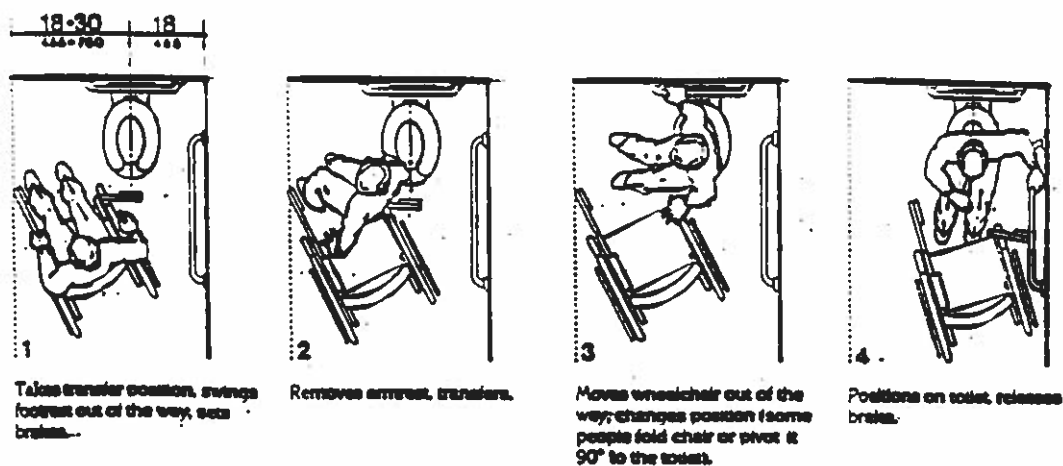
Fig. 46  
Space Requirements for Wheelchair  
Seating Spaces in Series

## A4.15 Drinking Fountains and Water Coolers

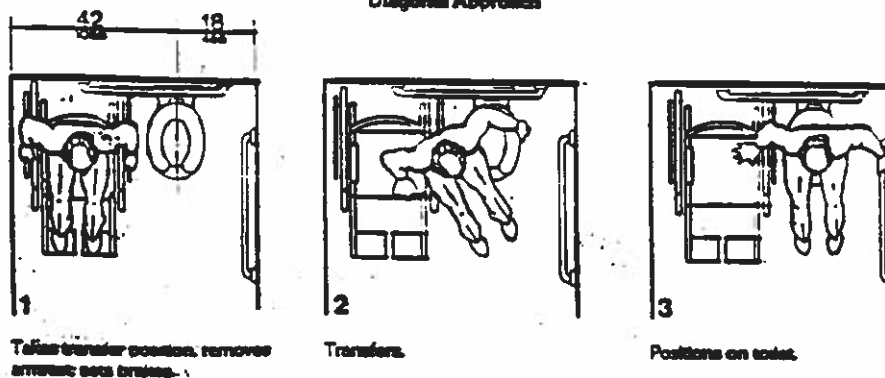
**A4.13.12 Automatic Doors and Power-Assisted Doors.** Sliding automatic doors do not need guard rails and are more convenient for wheelchair users and visually impaired people to use. If slowly opening automatic doors can be reactivated before their closing cycle is completed, they will be more convenient in busy doorways.

### A4.15 Drinking Fountains and Water Coolers.

**A4.15.2 Spout Height.** Two drinking fountains, mounted side by side or on a single post, are usable by people with disabilities and people who find it difficult to bend over.



(a)  
Diagonal Approach



(b)  
Side Approach

Fig. A6  
Wheelchair Transfers

A9

## A4.22 Toilet Rooms

facilities provided for all building users. In addition, the guidelines allow the use of "unisex" or "family" accessible toilet rooms in alterations when technical infeasibility can be demonstrated. Experience has shown that the provision of accessible "unisex" or single-user restrooms is a reasonable way to provide access for wheelchair users and any attendants, especially when attendants are of the opposite sex. Since these facilities have proven so useful, it is often considered advantageous to install a "unisex" toilet room in new facilities in addition to making the multi-stall restrooms accessible, especially in shopping malls, large auditoriums, and convention centers.

Figure 28 (section 4.16) provides minimum clear floor space dimensions for toilets in accessible "unisex" toilet rooms. The dotted lines designate the minimum clear floor space, depending on the direction of approach, required for wheelchair users to transfer onto the water closet. The dimensions of 48 in (1220 mm) and 60 in (1525 mm), respectively, correspond to the space required for the two common transfer approaches utilized by wheelchair users (see Fig. A6). It is important to keep in mind that the placement of the lavatory to the immediate side of the water closet will preclude the side approach transfer illustrated in Figure A6(b).

To accommodate the side transfer, the space adjacent to the water closet must remain clear of obstruction for 42 in (1065 mm) from the centerline of the toilet (Figure 28) and the lavatory must not be located within this clear space. A turning circle or T-turn, the clear floor space at the lavatory, and maneuvering space at the door must be considered when determining the possible wall locations. A privacy latch or other accessible means of ensuring privacy during use should be provided at the door.

## RECOMMENDATIONS:

1. In new construction, accessible single-user restrooms may be desirable in some situations because they can accommodate a wide variety of building users. However, they cannot be used in lieu of making the multi-stall toilet rooms accessible as required.
2. Where strict compliance to the guidelines for accessible toilet facilities is technically infeasible in the alteration of existing facilities, accessible "unisex" toilets are a reasonable alternative.
3. In designing accessible single-user restrooms, the provisions of adequate space to allow a side transfer will provide accommodation to the largest number of wheelchair users.

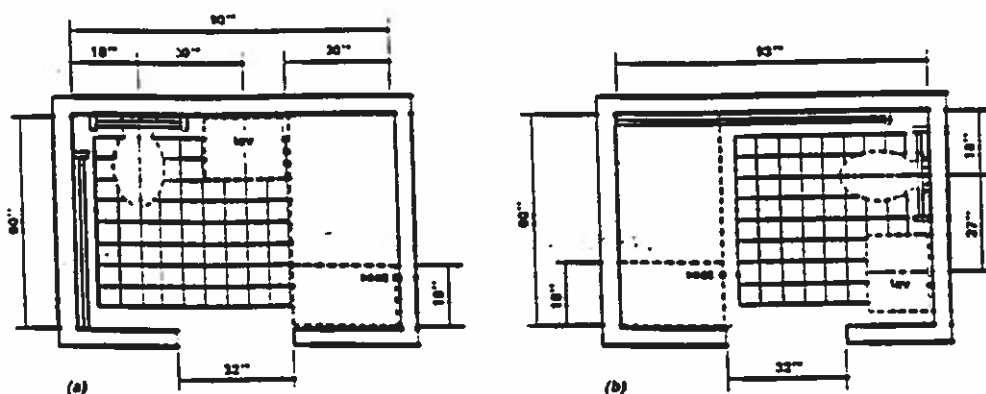


Fig. A7

A11



**A4.23 Bathrooms, Bathing Facilities, and Shower Rooms****A4.23 Bathrooms, Bathing Facilities, and Shower Rooms.**

**A4.23.3 Clear Floor Space.** Figure A7 shows two possible configurations of a toilet room with a roll-in shower. The specific shower shown is designed to fit exactly within the dimensions of a standard bathtub. Since the shower does not have a lip, the floor space can be used for required maneuvering space. This would permit a toilet room to be smaller than would be permitted with a bathtub and still provide enough floor space to be considered accessible. This design can provide accessibility in facilities where space is at a premium (i.e., hotels and medical care facilities). The alternate roll-in shower (Fig. 57b) also provides sufficient room for the "T-turn" and does not require plumbing to be on more than one wall.

**A4.23.9 Medicine Cabinets.** Other alternatives for storing medical and personal care items are very useful to disabled people. Shelves, drawers, and floor-mounted cabinets can be provided within the reach ranges of disabled people.

**A4.26 Handrails, Grab Bars, and Tub and Shower Seats.**

**A4.26.1 General.** Many disabled people rely heavily upon grab bars and handrails to maintain balance and prevent serious falls. Many people brace their forearms between supports and walls to give them more leverage and stability in maintaining balance or for lifting. The grab bar clearance of 1-1/2 in (38 mm) required in this guideline is a safety clearance to prevent injuries resulting from arms slipping through the openings. It also provides adequate gripping room.

**A4.26.2 Size and Spacing of Grab Bars and Handrails.** This specification allows for alternate shapes of handrails as long as they allow an opposing grip similar to that provided by a circular section of 1-1/4 in to 1-1/2 in (32 mm to 38 mm).

**A4.27 Controls and Operating Mechanisms.**

**A4.27.3 Height.** Fig. A8 further illustrates

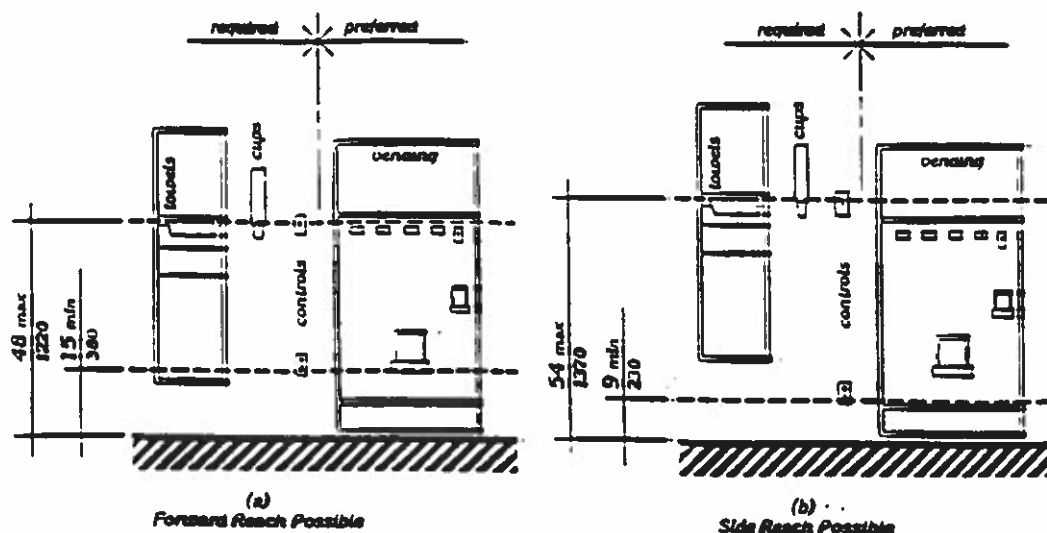
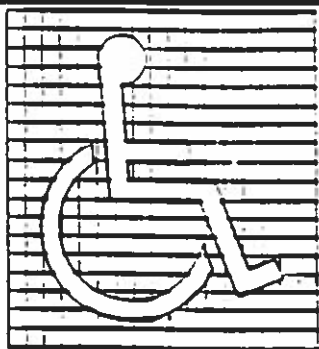


Fig. A8  
Control Reach Limitations

## 4.30 Signage



(a)

Proportions

International Symbol of Accessibility



(b)

Display Conditions

International Symbol of Accessibility



(c)

International TDD Symbol



(d)

International Symbol of Access for Hearing Loss

Fig. 43

International Symbols

symbol shall be displayed as shown in Fig. 43(a) and (b).

(2) **Volume Control Telephones.** Telephones required to have a volume control by 4.1.3(17)(b) shall be identified by a sign containing a depiction of a telephone handset with radiating sound waves.

(3) **Text Telephones.** Text telephones required by 4.1.3 (17)(c) shall be identified by the international TDD symbol (Fig 43(c)). In addition, if a facility has a public text telephone, directional signage indicating the location of the nearest text telephone shall be placed adjacent to all banks of telephones which do not contain a text telephone. Such directional signage shall include the international TDD symbol. If a facility has no banks of telephones, the directional signage shall be provided at the entrance (e.g., in a building directory).

(4) **Assistive Listening Systems.** In assembly areas where permanently installed assistive listening systems are required by 4.1.3(19)(b) the availability of such systems shall be identified with signage that includes the international symbol of access for hearing loss (Fig 43(d)).

## 4.30.8\* Illumination Levels. (Reserved).

## 4.31 Telephones.

4.31.1 **General.** Public telephones required to be accessible by 4.1 shall comply with 4.31.

4.31.2 **Clear Floor or Ground Space.** A clear floor or ground space at least 30 in by 48 in (760 mm by 1220 mm) that allows either a forward or parallel approach by a person using a wheelchair shall be provided at telephones (see Fig. 44). The clear floor or ground space shall comply with 4.2.4. Basins, enclosures, and fixed seats shall not impede approaches to telephones by people who use wheelchairs.

4.31.3\* **Mounting Height.** The highest operable part of the telephone shall be within the reach ranges specified in 4.2.5 or 4.2.6.

4.31.4 **Protruding Objects.** Telephones shall comply with 4.4.

## 4.28 Signage

**4.28.1\* General.** All signage that provides emergency information or general circulation directions or identifies rooms and spaces shall comply with 4.28.2, 4.28.3, and 4.28.5. Tactile signage shall also comply with 4.28.4.

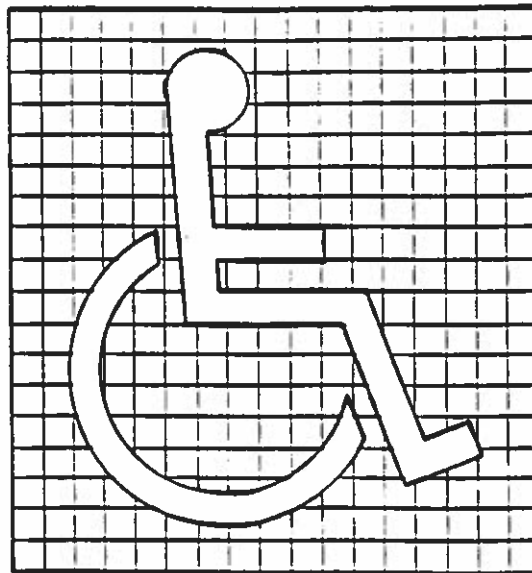
**4.28.2\* Character Proportion.** Letters and numbers on signs shall have a width-to-height ratio between 3:5 and 1:1 and a stroke-width-to-height ratio between 1:5 and 1:10, utilizing an upper-case "X" for measurement.

\*See Appendix for additional information.

**4.28.3\* Color Contrast.** Characters and symbols shall contrast with their background — either light characters on a dark background or dark characters on a light background.

**4.28.4 Tactile Characters or Symbols.** Characters, symbols, or pictographs on tactile signs shall be raised  $\frac{1}{16}$  in (0.8 mm) minimum. Raised letters and numbers shall be sans serif uppercase characters. Raised characters or symbols shall be at least  $\frac{1}{8}$  in (16 mm) high, but no higher than a nominal 2 in (51 mm).

**4.28.5 Symbols of Accessibility.** If accessible facilities are identified, then the international symbol of accessibility shall be used. The symbol shall be displayed as shown in Fig. 43.



(a) Proportions



(b) Display Conditions

Fig. 43  
International Symbol of Accessibility

**SCHEDULE  
OF  
RENOVATIONS**

## **SCHEDULE**

### **FIRST YEAR - 1993**

Ridgewood Library  
Carter Softball  
Walnut Library  
Bradfield Park Baseball  
Bradfield Pool  
Main Street Municipal Building  
Carver I  
Womens Building  
Health Department - Print Shop  
Carver II  
Carver III

Personnel Building  
Senior Citizen Center  
Firewheel Golf Pavilion  
Audubon Park Surf and Swim  
Performing Arts Center Building  
City Hall  
Pace House  
Police and Courts Building  
Plaza on the Square  
Nicholson Library

## **SCHEDULE**

### **SECOND YEAR - 1994**

Fire # 3  
Fire # 4  
Fire Central  
Fire # 6  
Fire # 7  
Fire Support  
Street Department  
Lou Huff Recreation Center  
Animal Pound  
Newman Plant  
Parks Service Center  
Audubon Soccer  
Audubon Recreation Center  
Rowlett Waste Water Plant  
Duck Creek Waste Water Plant  
Water Utilities  
Water Operations  
One 11 Ranch Park  
Winters Soccer Park  
Landmark Museum  
1214 Ave A (Drive In)  
John Paul Jones Park  
Central Park (Athletic Field)  
Winters Softball Park

Economic Development Center  
Police Property  
Electric Department Administration  
Sanitation Department  
Fire Station # 2  
Fire Station # 5  
Parks Department Office  
Granger Annex  
Granger Recreation Center  
Firewheel Golf Course  
Bradfield Recreation Center  
Garland Tennis Center  
Holford Recreation Center & Park  
Holford Ball Park  
Economic Development #G2  
Economic Development #H  
Economic Development #B1  
Economic Development #D1  
Holford Park Pool  
Economic Development #A2  
Incubator (Economic Development)  
Economic Development #B2  
Economic Development #D2  
Economic Development #E

# VARIOUS CITY PARKS

**Facilities: Various City Parks**

**Locations: See each parks description and location**

1. **Lake Ray Hubbard Greenbelt Park**  
17 parking places  
1 accessible space (123" wide) (access isle 72" wide)  
Park Greenbelt not accessible to wheelchair (no pavement)
2. **Wynn-Joyce Boat Ramp**  
62 parking spaces  
0 accessible spaces  
No access to the boat ramp  
Boat ramp closed to the public
3. **Oak Branch Park**  
Must park along the street  
No striped parking - no access to the play ground for wheelchairs
4. **Ablon Park**  
19 parking spaces  
1 accessible space (103" wide) (access isle 69" wide) need ramp  
to make play ground accessible picnic area not accessible to  
wheelchairs picnic tables are not wheelchair accessible
5. **Wind Surf Park**  
Park is unimproved - no play ground, picnic equipment or paving
6. **Rosehill Park**  
Park is unimproved - no play ground, picnic equipment or paving
7. **Betsy Ross Park**  
Parking must be along the street (no striping)  
Play ground not accessible to wheelchair  
Picnic area not accessible to wheelchair
8. **Eastern Hill Park**  
10 parking spaces  
1 accessible space (116" wide) (access isle 62" wide)  
Play ground and picnic area is accessible to wheelchair (no signage)
9. **Indian Lake Park**  
Parking must be along street (no striping)  
Equipment not accessible to wheelchair



10. **Camp Gatewood Park**  
24 parking spaces  
0 accessible spaces  
No access to picnic area for wheelchair, restrooms are port-o-lets  
Ramp from parking area is much too steep for a wheel chair
11. **Camp Gatewood Park Greenbelt**  
24 parking spaces  
0 accessible spaces  
Picnic area is not accessible and drinking fountain is not accessible
12. **Duckcreek Park Greenbelt**  
17 parking spaces  
0 accessible spaces  
Ramp to park trail is accessible, drinking fountain is not accessible  
Restrooms are port-o-lets
13. **Trath Ablon Park**  
23 parking spaces  
1 accessible space (115" wide) (62" access isle)  
Paving need to be restriped access signs painted over, there is access to the picnic area
14. **Crossman Park**  
Parking must be along street or school parking lot  
No access to ball field or concession stand
15. **Meadow Creek Park**  
Parking must be along street  
Picnic area and play ground is not accessible
16. **Armstrong Park**  
Parking must be along street  
No access to park area
17. **Grissom Park**  
Unimproved park - no equipment of any kind  
No parking
18. **White Park**  
Unimproved park - no equipment of any kind  
No parking
19. **Freedom Park**  
Parking must be along the street  
Picnic are and play ground is not accessible

20. **Woodland Basin Park**  
30 parking spaces  
2 accessible spaces (1 space 140" wide) (1 space 144" wide)  
(both access isles are 50" wide)  
Have access to nature trails  
Pavement need restriping
21. **James Park**  
Parking must be along the street picnic area and play ground is not accessible to wheelchair
22. **Embree Park**  
38 parking spaces  
1 accessible space (128" wide) (access isle is 241" wide)  
Access curb ramp is 44" wide  
Picnic area, jogging trail and play ground is accessible
23. **Douglas Park**  
Parking is along the street curb ramps allow access to the parks picnic area and play ground
24. **Lou Huff Ball Park**  
Parking must be along the street  
Curb ramp allow access to bleachers, but no spaces for wheelchairs  
Restrooms are port-o-lets
25. **Sam Houston Park**  
Parking must be along the street or on the school parking lot  
Curb ramp from school parking lot allow access to walking or jogging path, no play ground or equipment
26. **Tinsley Park**  
17 parking spaces  
0 accessible spaces  
Curb ramps allow access to walking or jogging path but not to the play ground or picnic area
27. **Yarbrough Park**  
No parking except along the street  
Curb ramp allow access to basket ball court but no other sections of the park
28. **Rivercrest Park**  
Park is not accessible in any way

29. **Bisly Park**  
Park is not accessible in any way
30. **Groves Park**  
Unimproved park - no access
31. **Watson Park**  
Curb ramp on school parking lot allow access to the play ground and pool area but not into the water
32. **Bullock Park**  
Must go to front of school to gain access to the play ground by a curb ramp
33. **Montgomery Park**  
Not accessible to the play ground or other parts of the park
34. **Alamo Park**  
No access to play ground or other areas of the park
35. **Cullom Park**  
32 parking spaces  
1 accessible space (114" wide) (access isle is 135" wide) play ground and pool area is accessible
36. **Peavy Park**  
No access to play ground or other areas of the park
37. **Rick Oden Park**  
28 parking spaces  
1 accessible space (gravel surface in this parking lot)  
Bridge to picnic area and pool is not accessible  
Clear width of bridge is 23"
38. **Rick Oden Park Ball Fields (3 fields)**  
277 parking spaces for three fields  
(Ball field #1) 1 accessible space with sign (no access to concession stand or bleachers without paving improvements) restrooms are port-o-let  
(Ball field #2) 2 accessible spaces with signs (no access to concession stand and bleachers without paving improvements) restrooms are not accessible three 90° turns will not allow wheelchair entrance  
(Ball field #3) 2 accessible spaces with signs (no access to bleachers or concession stand without paving improvements, restroom are port-o-let  
Parking surface is gravel main restroom (built in place) could be used for all three fields with improvements. Need concrete pads for wheelchairs around the bleachers.

## **CREDITS**

**Department Director -** W.O. Allen, Jr., Building Official  
**Report Coordinator -** P.B. Baugh, Codes Administrator  
**Research Director -** A.J. Duffey, Chief Building Inspector  
**Inspection Team -** P.B. Baugh, A.J. Duffey, R. Partridge,  
M.D. Smith and J.A. Walls  
**Word Processing -** Susie Bovée, Permit Clerk